

**TOWN OF DOVER
PLANNING BOARD MEETING**

Monday, June 16, 2025, 7:00 p.m.

126 East Duncan Hill Road

Dover Plains, NY

Members

Chairman Ryan Courtien, Member Valerie LaRobardier, Member Paul Palmer, Member Tamar Roman, Member William Sedor, Member Michael Villano, Member Henry Williams, Secretary Marilyn Van Millon

1. **AGENDA IS SUBJECT TO CHANGE**
2. **Call Meeting to Order/Pledge of Allegiance**
3. **Acceptance of the June 2, 2025 Meeting Minutes**
4. **Public Hearings**
 - a. **Lands of Fila-Accessory Apartment**
 - Parcel: 7161-00-507209
 - Plans Prepared by: Rennia Engineering Design, PLLC
 - Property Location: 72 Ramah Road, Wingdale NY
 - Application for: Renewal of an Expired Site Plan
5. **Old Business**
 - a. **198 Dog Tail Corner**
 - Parcel: 7160-00-927735
 - Plans Prepared by: Insite Engineering, Surveying and Landscape Architecture, PC
 - Property Location: 198 Dog Tail Corners Road, Wingdale
 - Applicant: Gentle Place LLC
 - Application for: Special Permit and Erosion and Sediment Control
6. **Request for Extension**
 - a. **Dover Estates Subdivision**
 - Parcels: 7060-00-777592;783563;785544;787526;790504
 - Applicant: Peter Rusciano
 - Plans Prepared by: Richard Pearson of John Meyer Consulting
 - Property Location: Route 22
 - Application: 5 lot subdivision- Erosion and Sediment Control

b. Rusciano- Erosion and Sediment Control

- Parcel: 7060-00-850712
- Applicant: Peter Rusciano
- Plans Prepared by: Richard Pearson of John Meyer Consulting
- Property Location: 236 and 246 Cricket Hill Road
- Application: Erosion and Sediment Control Permit

7. Next Scheduled Meetings

- July 7, 2025 (deadline June 18, 2025)
- July 21, 2025 (deadline July 2, 2025)

8. Adjournment

RENNIA ENGINEERING DESIGN, PLLC

CIVIL ▪ ENVIRONMENTAL ▪ STRUCTURAL

6 Dover Village Plaza, Suite 5, P.O. Box 400, Dover Plains, NY 12522
Tel: (845) 877-0555 Fax: (845) 877-0556

April 29, 2025

RECEIVED

By Marilyn Van Millon at 3:24 pm, Apr 30, 2025

Town of Dover Planning Board
126 East Duncan Hill Road
Dover Plains, NY 12522

Attn: Mr. Ryan Courtien, Chairman

**Re: Lands of Fila – Accessory Apartment
Town of Dover
Tax ID# 132600-7161-00-507209**

Dear Mr. Courtien and Planning Board Members,

The applicant is applying to the Planning Board to legalize an existing 2-bedroom ±725 SF accessory apartment located within an existing detached garage, which was renovated in 2021. As part of the aforementioned renovations, 2 bedrooms were added to the second floor of the existing structure, converting it into an accessory apartment. In a letter dated 11/18/2021 the Town of Dover Code Enforcement Officer, Paul Johnston, made note of the violation and mandated the applicant to go before the Planning Board to apply for a Special Use Permit for the accessory apartment. Site Plan and Special Use Permit approval was granted conditional approval for the apartment on August 21, 2023, as per the Planning Board resolution entitled "Resolution to Grant Special Use Permit and Site Plan Approval – Fila Accessory Apartment". See attached. Prior to the satisfaction of the conditions listed in the above-referenced resolution, the Site Plan approval expired. However, the Special Use Permit issued for the Project Site remains valid.

Response to the outstanding conditions of approval listed in the Site Plan have been provided below in the order listed.

1. The escrow account contains sufficient balance for this project. An additional Site Plan Application Fee of \$525 has been provided with this submission for the rereview of previously approved plans.
2. Dutchess County Department of Health has approved the proposed water supply and sewage disposal system. Copies of the approvals have been included with this submission.
3. The Site Plan has been amended to include the additional notations.

Now that we are able to adequately resolve the outstanding conditions stated in the above-referenced resolution, we are requesting reapproval of the Fila Accessory Apartment's Site Plan.

**Re: Lands of Fila – Accessory Apartment
Town of Dover
Tax ID# 132600-7161-00-507209**

Attached for your review please find 11 copies of the following project information:

- Planning Board Site Plan Applications
- Planning Board Site Plan/Special Use Permit Approval Resolution, dated 8/21/2025
- DCDOH Approval Letter, dated 3/24/2025
- Lands of Fila – Accessory Apartment Site Plan – Site Plan, dated 3/23/2023, revised 4/29/2025 (3-Full Size, 8-11"x17")
- Fila DCDOH Approved Plan Set, dated 6/1/2023, last revised 3/3/2025 (3-Full Size, 8-11"x17")
- Planning Board Site Plan Application Fee, \$525.00

Please do not hesitate to contact me with any questions, (845) 877-0555.

Sincerely,

A handwritten signature in black ink, appearing to read 'Peter Sander', followed by a horizontal line extending to the right.

Peter Sander, AICP
Senior Planner
Encl.

Town of Dover
126 East Duncan Hill Road
Dover Plains, NY 12522



Town of Dover Planning Board

(845) 832-6111 Ext 100

LAND USE APPLICATION

Type of Application: Check all that apply

☒ Site Plan☐ Special Use Permit☐ with Erosion and Sediment Control Permit

Grid Number(s):

132600-7061-00-507209

Name of Project: Lands of Fila -

Property Address: Accessory Apartment

72 Ramah Road

Wingdale, NY 12594

Primary Contact Person:

Rennia Engineering Design PLLC

Address: 6 Dover Village Plaza, Suite 5,

P.O. Box 400, Dover Plains, NY 12522

Telephone: 845-877-0555

Email: psander@renniadesign.com

Zoning District: RU ☒, RC ☐, HM ☐, HR ☐, SR ☐, HC ☐,CO ☐, M ☐,Overlay District (if any): Floodplain ☐, Stream Corridor ☐,Aquifer ☒, Soil Mining ☐

Current Use(s): Residential

Proposed Use(s): Residential w/ Accessory Apartment

Parcel Size: 3.32 acres

Type of Activity: New Structure ☐, Alteration of existing structure ☒, Expansion or use of structure ☐Change of use in existing structure: ☒

Name of Property Owner:

John Fila

Address: 72 Ramah Road

Wingdale, New York 12594

Telephone Number:

Total square footage of structures:

Current +/- 7,390 SF Proposed +/- 7,390 SF

(Accessory Apartment: +/- 725 SF)

Footprint of Structures:

Current +/- 3,893 SF Proposed +/- 3,893 SF

(Accessory Apartment: +/- 725 SF)

Name of Applicant (if different)

Address:

Date of Discussion Meeting:

Telephone Number:

Date Stamp: to be filled in by Planning Department

Email: jcf942@gmail.com

Relationship of Applicant to Owner

(e.g contract, vendee, option holder, lessee):

Plans Prepared by:

Name: Rennia Engineering Design, PLLC

Address: 6 Dover Village Plaza, Suite 5, P.O. Box 400

Dover Plains, NY 12522

Telephone Number: 845-877-0555

Email: psander@renniadesign.com

← Received
April 30, 2025
M. Van Millon

Town of Dover
126 East Duncan Hill Road
Dover Plains, NY 12522

Town of Dover Planning Board



(845) 832-6111 Ext 100

Does the project parcel cover applicant's entire holding?

☒ Yes ☐ No

Deed Reference: Liber 22016 _____

Page 6004 _____

Does the property contain a farm operation located within an agricultural district or is the property boundary within 500 feet of a farm operation located in an agricultural district:

☐ Yes ☒ No

If yes, submit an Agricultural Use Statement, available from the Planning Office

Will the development be phased? ☐ Yes ☒ No

Is there an existing Special Permit and/or Site Plan approval for the Property?

☐ Yes ☒ No

The undersigned hereby makes application in accordance with applicable laws and other requirements of the Town of Dover, Dutchess County, New York. All owners of record must sign.

A handwritten signature in black ink, appearing to be "J. R. [unclear]", written over a horizontal line.

Signature of Record Owner

A horizontal line for a signature, with no handwritten text present.

Signature of Record Owner

Date: 4/29/2025 _____

Date: _____

Signature of Applicant (if different)

Date: _____

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Lands of Fila - Accessory Apartment			
Project Location (describe, and attach a location map): 72 Ramah Road, Wingdale, New York 12594			
Brief Description of Proposed Action: The applicant is proposing to convert the second floor of a two-story +/-1,450 SF (+/-725 footprint) detached garage into a 2-bedroom accessory apartment.			
Name of Applicant or Sponsor: John Fila		Telephone: E-Mail: jcf942@gmail.com	
Address: 72 Ramah Road			
City/PO: Wingdale		State: New York	Zip Code: 12594
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Town of Dover Planning Board: Site Plan Approval Approval, DCDOH Approval		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		3.32 acres	
b. Total acreage to be physically disturbed?		0.20 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		3.32 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input checked="" type="checkbox"/> Aquatic <input checked="" type="checkbox"/> Other(Specify): Youth Camp			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

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Town of Dover
126 East Duncan Hill Road
Dover Plains, NY 12522

Town of Dover Planning Board



(845) 832-6111 Ext 100

LETTER OF AGENT

I, John Fila, am the owner of the property

located at 72 Ramah Road, Dover, New York, identified as

Grid Number 132600-7061-00-507209.

I hereby authorize Rennia Engineering Design, PLLC

to act as my agent in an application to the Town of Dover Planning Board.

For Lands of Fila - Accessory Apartment
(Name of Project)

Print name John Fila

Signature 

Date 4/29/2025

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Town of Dover
126 East Duncan Hill Road
Dover Plains, NY 12522



(845) 832-6111 Ext 100

Town of Dover Planning Board

Disclosure of Interest

SECTION 809 OF THE GENERAL MUNICIPAL LAW provides as follows:

1. Every application, petition, or request submitted for a variance, amendment, change of zoning, approval of a plat, exemption from a plat or official map, license, or permit, pursuant to the provisions of any ordinance, local law, rule, or regulation constituting the zoning and planning regulations of a municipality shall state the name, address, and the nature and extent of the interest of any state officer and any officer or employee of such municipality or of a municipality of which such municipality is a part, in the person, partnership, or association making such application: petition, or request (hereinafter called the applicant) to the extent known to such applicant.
2. For the purpose of this section, an officer or employee shall be deemed to have an interest in the applicant when he, his spouse, or their brothers, sisters, parents, children, grandchildren, or the spouse of any of them
 - (a) is the applicant, or
 - (b) is an officer, director, partner, or employee of the applicant, or
 - (c) Legally or beneficially owns or controls stock of a corporate applicant or is a member of a partnership or association applicant, or
 - (d) is a party to an agreement with such an applicant express or implied, whereby he may receive any payment or other benefit, whether or not for services rendered, dependent or contingent upon the favorable approval of such application, petition, or request.
3. Ownership of less than five percent of the stock of a corporation whose stock is listed on the New York or American Stock Exchanges shall not constitute an interest for the purposes of this section.
4. A person who knowingly and intentionally violates this section shall be guilty of a misdemeanor.

In connection with said application, petition or request, the undersigned hereby states, pursuant to the provision of Section 809 of the General Municipal Law, the name, residence, and the nature and extent of the interest of any state officer or employee of the Town of Dover and/or the County of Dutchess, in the person, partnership, or association making the application, petition, or request (hereinafter called the "Applicant"). If none, insert the word "none" None

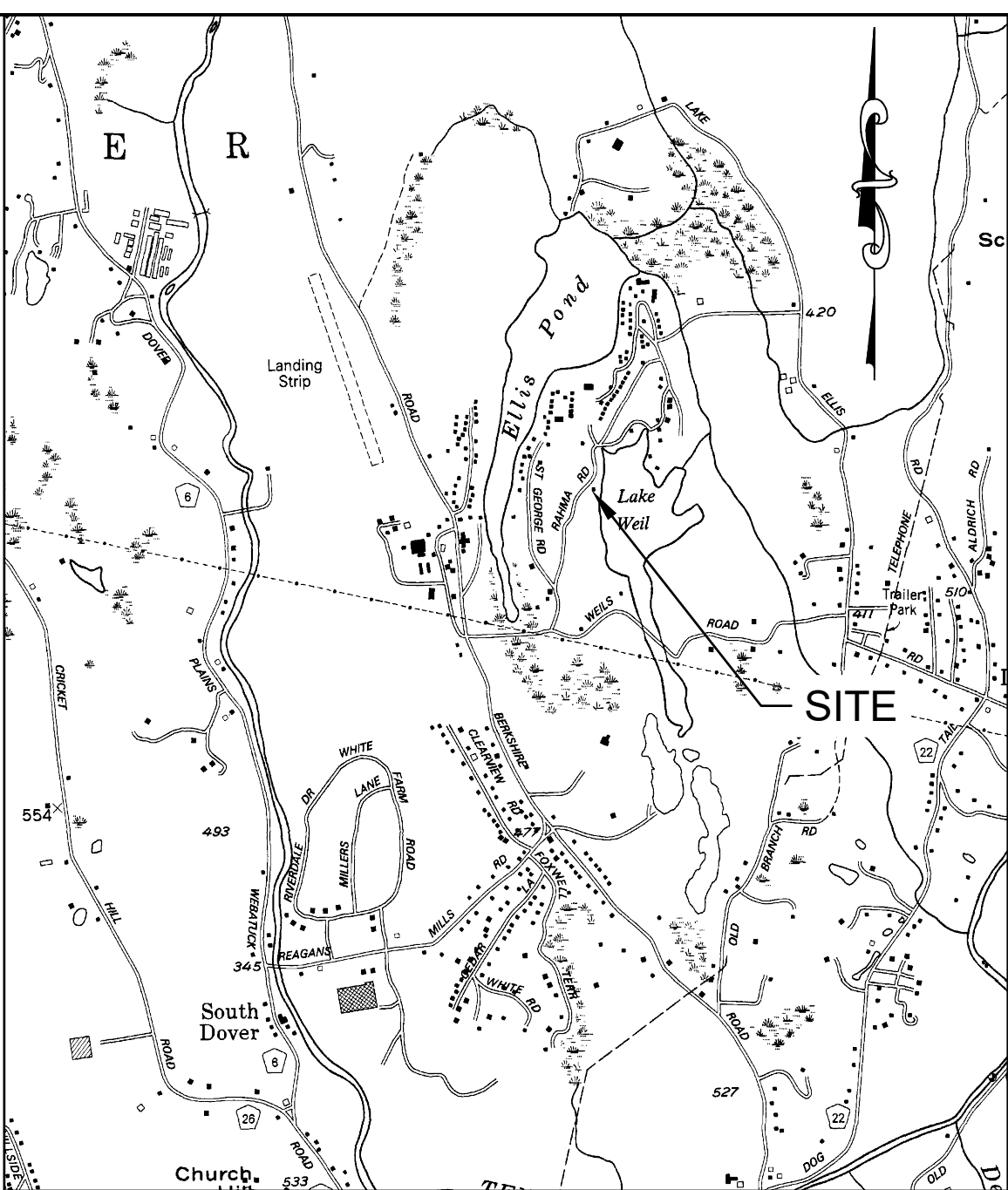


Signature of Applicant

4/29/2025

Date

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SCALE: 1" = 2,000'

AQUIFER OVERLAY DISTRICT NOTE:
THIS PROJECT IS LOCATED WITHIN THE UPPER AQUIFER OVERLAY DISTRICT (UAZ). ALL LAND USES AND ACTIVITIES WITHIN THE UAZ ARE SUBJECT TO THE REGULATIONS SET FORTH IN SECTION 145-15 OF THE TOWN CODE OF THE TOWN OF DOVER, AQUIFER OVERLAY DISTRICT, AS AMENDED FROM TIME TO TIME.

PRIMARY RESIDENCE:

- TWO-STORY, 5-BEDROOM, SINGLE FAMILY RESIDENCE
- CONSTRUCTED IN 1945.
- APPROX. FOOTPRINT ±2,772 SF.
- APPROX. TOTAL FLOOR AREA: ±5,444 SF
- **NO PROPOSED CHANGE OF USE**

EXISTING GARAGE/PROPOSED ACCESSORY APARTMENT:

- TWO-STORY ACCESSORY DETACHED GARAGE
- CONSTRUCTED IN 1984. 12'x22' (264 SF) BUILDING (GARAGE)
- ADDITION CONSTRUCTED IN 2021.
- APPROX. FOOTPRINT ±725 SF.
- APPROX. TOTAL FLOOR AREA: ±1,450 SF
- **SECOND FLOOR OF STRUCTURE PROPOSED TO BE CONVERTED INTO A TWO BEDROOM ACCESSORY APARTMENT**

TIMBER CARPORT:

- OPEN AIR CARPORT
- CONSTRUCTED IN 1984
- APPROX. FOOTPRINT ±252 SF.
- APPROX. TOTAL FLOOR AREA: ±252 SF
- **NO PROPOSED CHANGE OF USE**

TIMBER SHED:

- TIMBER STORAGE SHED
- UNDETERMINED DATE OF CONSTRUCTION
- APPROX. FOOTPRINT ±144252 SF.
- APPROX. TOTAL FLOOR AREA: ±144 SF
- **NO PROPOSED CHANGE OF USE**

PROJECT PARCEL LOT LINE

ADJACENT PARCEL LOT LINE

BUILDING SETBACKS

EXISTING CONTOUR

EXISTING ASPHALT DRIVE

EXISTING GRAVEL ROAD

CENTERLINE OF ROAD

PROPOSED FORCE MAIN

LIMIT OF DISTURBANCE

EXISTING UTILITY LINE

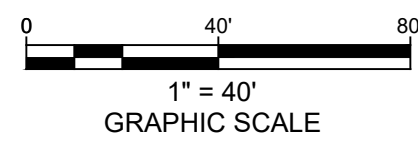
EXISTING STRUCTURE

PROPOSED ACCESSORY APARTMENT

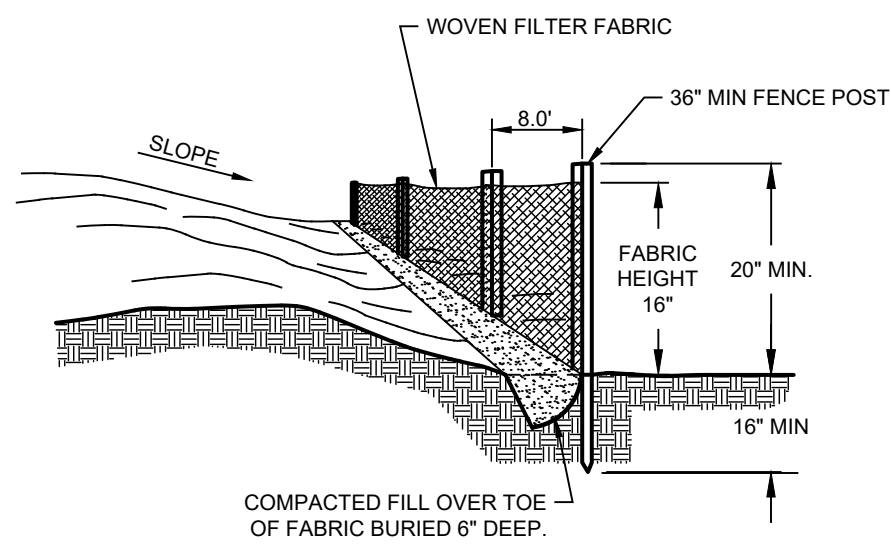
460

LD

LD



BULK REGULATIONS			
RURAL DISTRICT "RU"			
PROVISION	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA (ACRE)	2	3.32 (EXISTING)	3.32 (EXISTING)
MIN. ROAD FRONTAGE (FT)	250 (TOWN ROAD)	1,044 (EXISTING)	1,044 (EXISTING)
MIN. FRONT YARD SETBACK (FT)	40 (TOWN ROAD)	65.86 (PRIMARY RESIDENCE)	72.9 (GARAGE/ ACCESSORY APT)
MIN. REAR YARD SETBACK (FT)	50	97.2 (GARAGE)	97.2 (GARAGE/ ACCESSORY APT)
MIN. SIDE YARD SETBACK (FT)	30	289.7 (PRIMARY RESIDENCE)	369.4 (GARAGE/ ACCESSORY APT)
MAX BUILDING HEIGHT (FT)	35	2-STORIES (<35)	(2-STORIES) <35
MAX BUILDING FOOT PRINT (SF)	6,000	2,772 (PRIMARY RESIDENCE)	725 (GARAGE/ ACCESSORY APT)
MIN. MAX. ACCESSORY APARTMENT FLOOR AREA (SF)	500 1,000	725 (ACCESSORY APT. - 2ND FLOOR)	725 (ACCESSORY APT. - 2ND FLOOR)
MAX IMPERMEABLE SURFACE (%)	10%	7.0%	7.0%

 $1'' = 40'$ 

N.T.S

N.T.S.

TOTAL DISTURBED AREA OF THE SITE: 8,844 SF OR 0.2-ACRES

THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT I AM FAMILIAR WITH THIS MAP, ITS CONTENTS AND LEGENDS, AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON AND TO THE FILING OF THIS PLAN IN THE OFFICE OF THE CLERK OF THE TOWN OF HYDE PARK, DUTCHESS COUNTY, NY.

SIGNED THIS _____ DAY OF _____ 2025

OWNER'S SIGNATURE

By Marilyn Van Millon at 3:28 pm, Apr 30, 2025

ZONING DISTRICT: "RU" RURAL DISTRICT
LOT SIZE: 3.32 ACRES
TAX GRID No.: 132600-7061-00-507209
PROPERTY ADDRESS: 72 RAMAH ROAD
WINGDALE, NY 12594
PROPERTY OWNER: JOHN FILA
72 RAMAH ROAD
WINGDALE, NEW YORK 12594

DATE	REVISION
7/19/2023	REVISED FOR CDCOH SUBMISSION
8/15/2023	REVISED AS PER PLANNING BOARD COMMENTS
4/29/2025	REVISED TO ADDRESS CONDITIONS OF APPROVAL

ENGINEERING, DESIGN, & PLANS PREPARED BY:

CIVIL • ENVIRONMENTAL • STRUCTURAL

6 Dover Village Plaza, Suite 5, P.O. Box 400, Dover Plains, NY 12522

Tel: (845) 877-0555 Fax: (845) 877-0556

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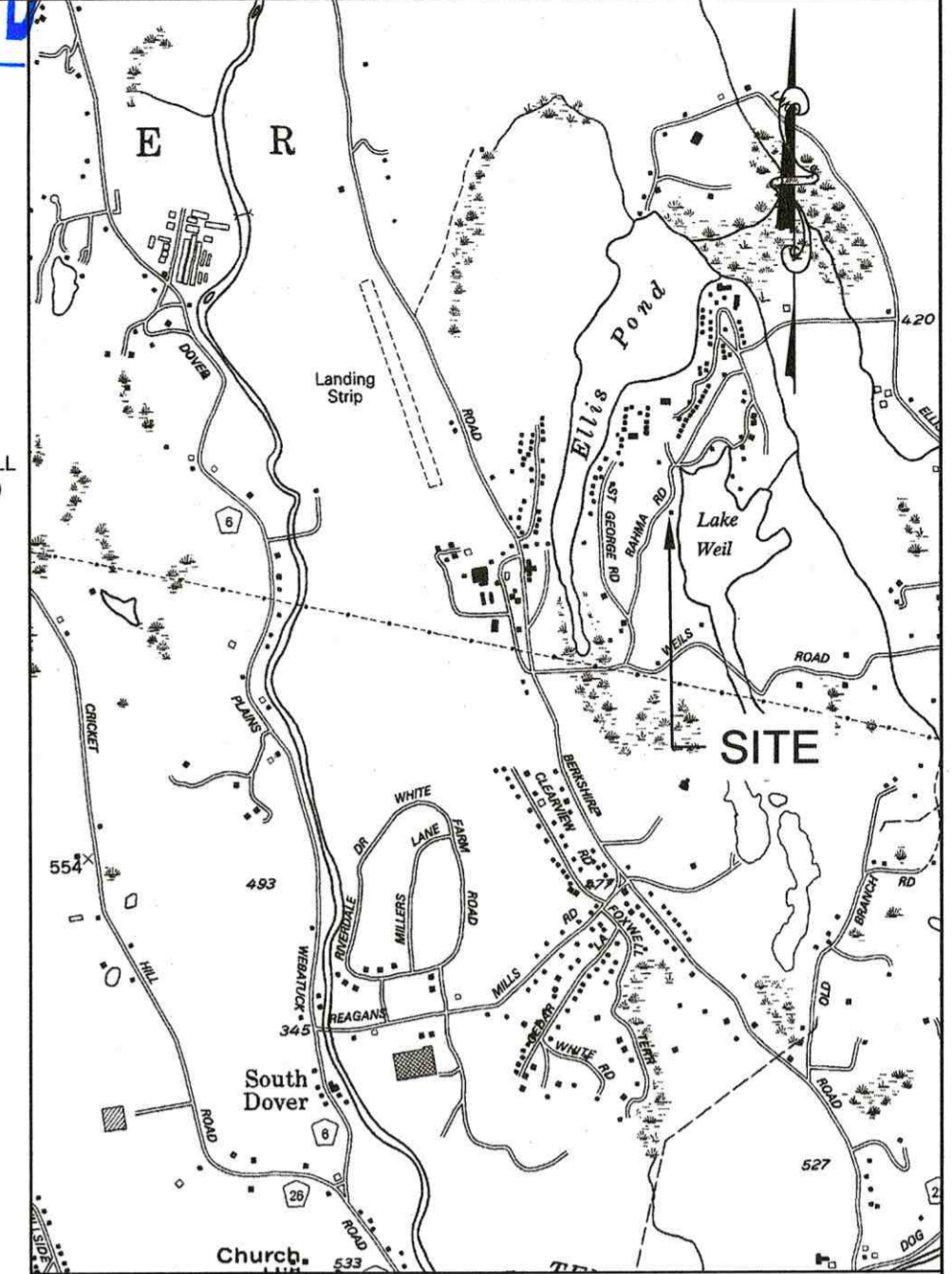
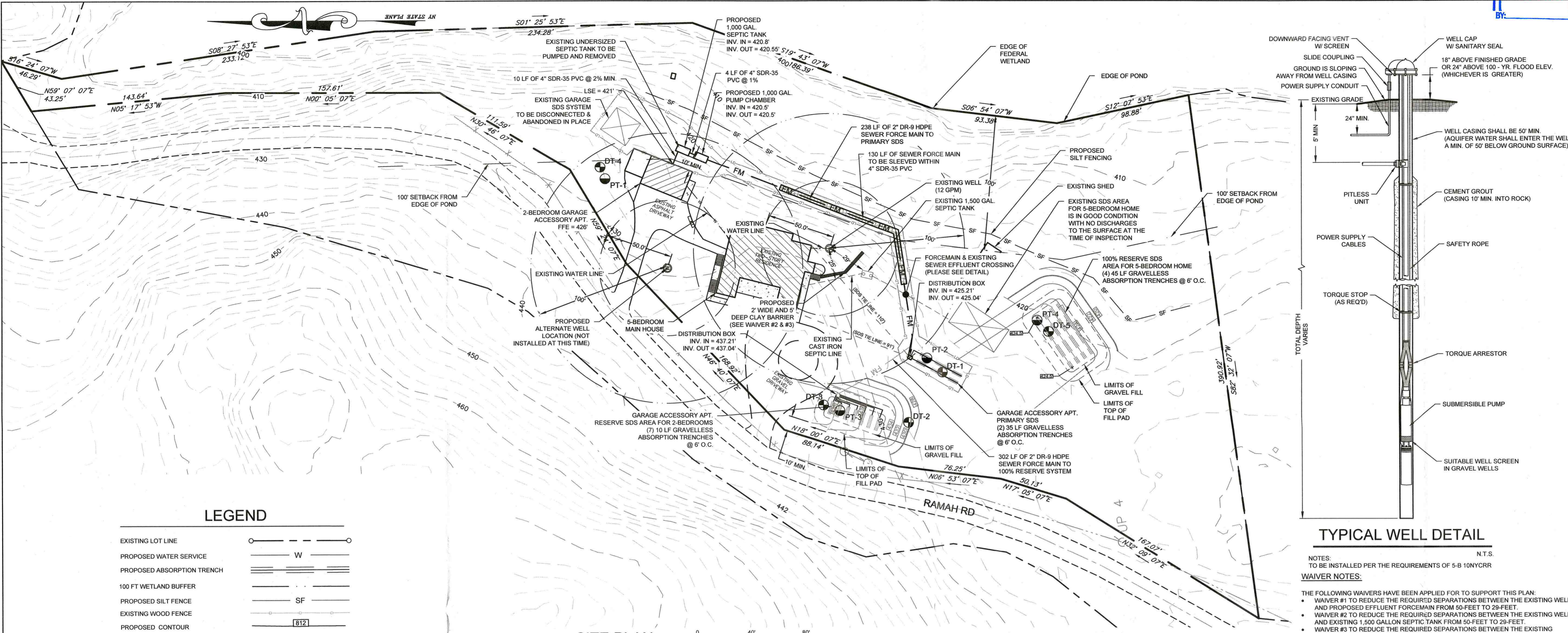
IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSON TO ALTER THESE PLANS, SPECIFICATIONS OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER.



TOWN OF DOVER

DUTCHESS COUNTY, NY

DATE	SCALE	DESIGNED BY:	DRAWN BY:	CHECKED BY:	JOB NO.	SHEET NO.
3/23/2023	1" = 40'	RED	RED	RAR	14-028	1 of 1



VICINITY PLAN

SCALE: 1" = 2,000'

RECOMMENDED FOR APPROVAL

Donald D. Miller

DUTCHESS COUNTY DEPARTMENT OF HEALTH
APPROVED

DATE: 3-21-2025

PROJECT: Fila - Sanitary Disposal System & Well Location for a 2-Bedroom Accessory Apt.

Town of Dover

John Fila P.E.
SUPERVISING PUBLIC HEALTH ENGINEER

DUTCHESS COUNTY DOH - APPROVAL BLOCK

LEGEND

EXISTING LOT LINE

PROPOSED WATER SERVICE

PROPOSED ABSORPTION TRENCH

100 FT WETLAND BUFFER

PROPOSED SILT FENCE

EXISTING WOOD FENCE

PROPOSED CONTOUR

DEEP TEST PIT LOCATION

PERC TEST PIT LOCATION

DT-3

PT-3

SITE PLAN

1" = 40'

0 40' 80'

GRAPHIC SCALE

MAP NOTES:
1. PROJECT PARCEL BOUNDARY BASED ON METES AND BOUNDS DESCRIPTION(S) FOUND IN DEED (LIBER 1251, PAGE 116), DATED 9/14/1968.
2. ADJACENT PARCEL BOUNDARIES ARE BASED ON 2021 DUTCHESS COUNTY TAX MAP DATA.
3. ALL SHOWN TOPOGRAPHIC INFORMATION IS BASED ON NYS CLEARING HOUSE LIDAR CONTOUR DATA PROVIDED DUTCHESS COUNTY.
4. EXISTING CONDITIONS BASED ON 2021 AERIAL IMAGERY AND FIELD INVESTIGATION CONDUCTED ON 3/20/2023

PROPOSED FILLPADS CONTRACTOR NOTES:

1. THE PROPOSED GRADING FOR FILL PAD IS ONLY TO BE CONSTRUCTED WHEN THE 100% RESERVE SEPTIC SYSTEMS ARE IN NEED OF INSTALLATION AFTER PRIMARY SYSTEMS HAVE FAILED.

GARAGE ACCESSORY APT. PRIMARY SDS - BASIS OF DESIGN:		
BUILDING TYPE:	RESIDENTIAL	
SYSTEM TYPE:	GRAVELLESS ABSORPTION TRENCHES	
DESIGN FLOW RATE: 220 GPD		
USE:		FLOW (GPD)
2 BEDROOM MAXIMUM		220
TOTAL		220
STABILIZED PERC RATE:	3 MIN./INCH	
APPLICATION RATE	1.2 GAL/DAY/SQ.FT.	
ABSORPTION AREA	220 GPD / 1.2 GAL/DAY/SQ.FT. = 183.33 SQ-FT	
GRAVELLESS ABSORPTION AREA	183.33 SQ-FT X 0.75 = 137.5	
REQUIRED TRENCH LENGTH	137.5 SQ-FT / 2 FT WIDE TRENCH = 68.75 LF OF TRENCH	
TRENCH DEPTHS	18" - 24"	
LATERAL SPACING	6' O.C.	
NO. OF LATERALS	2 (TOTAL OF 14 QUICKS E036 CHAMBERS OR TOTAL OF 14 ARC-24 CHAMBERS)	
LENGTH OF LATERALS	35' IF USING QUICKS EQ 36, 35' IF USING ARC-24	
DEPTH TO ROCK:	84" (DT-1)	
DEPTH TO WATER:	N/A	
DEPTH OF FILL REQ.	0'	
LOWEST SEWERABLE ELEV. (LSE)	421'	

GARAGE ACCESSORY APT. 100% RESERVE SDS - BASIS OF DESIGN:		
BUILDING TYPE:	RESIDENTIAL	
SYSTEM TYPE:	GRAVELLESS ABSORPTION TRENCHES	
DESIGN FLOW RATE: 220 GPD		
USE:	FLOW (GPD)	
2 BEDROOM MAXIMUM	220	
TOTAL	220	
STABILIZED PERC RATE:	3 MIN./INCH	
APPLICATION RATE	1.2 GAL/DAY/SQ. FT.	
ABSORPTION AREA	220 GPD / 1.2 GAL/DAY/SQ.-FT. = 183.33 SQ-FT	
GRAVELLESS ABSORPTION AREA	183.33 SQ-FT X 0.75 = 137.5 SQ-FT	
REQUIRED TRENCH LENGTH	137.5 SQ-FT / 2 FT WIDE TRENCH = 68.75 LF OF TRENCH	
TRENCH DEPTHS	18" - 24"	
LATERAL SPACING	6' O.C.	
NO. OF LATERALS	7 (TOTAL OF 14 QUICKS E036 CHAMBERS OR TOTAL OF 14 ARC-24 CHAMBERS)	
LENGTH OF LATERALS	10' IF USING QUICKS E036, 10' IF USING ARC-24	
DEPTH TO ROCK:	67" (DT-3)	
DEPTH TO WATER:	N/A	
DEPTH OF FILL REQ.	2'	
LOWEST SEWERABLE ELEV. (LSE)	421'	

MAIN HOUSE 100% RESERVE SDS - BASIS OF DESIGN:		
BUILDING TYPE:	RESIDENTIAL	
SYSTEM TYPE:	GRAVELLESS ABSORPTION TRENCHES	
DESIGN FLOW RATE: 550 GPD		
USE:		FLOW (GPD)
5 BEDROOM MAXIMUM		550
TOTAL		550
STABILIZED PERC RATE:	5 MIN./INCH	
APPLICATION RATE	1.2 GAL/DAY/SQ.FT.	
ABSORPTION AREA	550 GPD / 1.2 GAL/DAY/SQ-FT. = 458.33 SQ-FT	
GRAVELLESS ABSORPTION AREA	458.33 SQ-FT X 0.75 = 343.75 SQ-FT	
REQUIRED TRENCH LENGTH	343.75 SQ-FT / 2 FT WIDE TRENCH = 171.875 LF OF TRENCH	
TRENCH DEPTHS	18" - 24"	
LATERAL SPACING	6' O.C.	
NO. OF LATERALS	4 (TOTAL OF 36 QUICKS EQ36 CHAMBERS OR TOTAL OF 36 ARC-24 CHAMBERS)	
LENGTH OF LATERALS	45' IF USING QUICKS EQ36, 45' IF USING ARC-24	
DEPTH TO ROCK:	37" (DT-1)	
DEPTH TO WATER:	N/A	
DEPTH OF FILL REQ.	4'	
LOWEST SEWERABLE ELEV. (LSE RESERVE ONLY)	426.5'	

DEEP TEST RESULTS (5/23/2023):

HOLE #	TOTAL DEPTH	ROCK DEPTH	WATER DEPTH	MOTTLED DEPTH	SOIL DESCRIPTION
1	84"	N/A	N/A	N/A	0'-6" TOP SOIL
2	36"	36"	N/A	N/A	0'-6" FINE SAND
3	67"	67"	N/A	N/A	0'-6" TOP SOIL
4	52"	52"	N/A	N/A	0'-36" SANDY SILT
5	37"	37"	N/A	N/A	0'-6" TOP SOIL
					0'-10' SANDY SILT
					10'-52" SANDY SILT
					0'-6" TOP SOIL
					0'-37" SANDY SILT

PERC TEST RESULTS (5/24/2023):

Test Hole No.	Test Hole Depth	Soil Type	Soaked	TEST RUNS				
				*	1	2	3	4
1	24"	SANDY SILT	YES	Finish	11:29	11:32	11:36	
				Start	11:28	11:30	11:33	
				Time	1 min	2 min	2 min	
				Finish	11:42	11:45	11:49	
2	24"	FINE SAND	YES	Start	11:40	11:42	11:46	
				Time	2 min	3 min	3 min	
				Finish	11:51	11:54	11:57	
				Start	11:50	11:52	11:55	
3	24"	SANDY SILT	YES	Time	1 min	2 min	2 min	
				Finish	12:04	12:09	12:14	
				Start	12:00	12:04	12:09	
				Time	4 min	5 min	5 min	

ADDITIONAL DOH NOTES:
1. THE PERCOLATION TESTS WERE PRE-SOAKED IN ACCORDANCE WITH DC EHS POLICY AND STANDARD "PERCOLATION TEST PROCEDURE" AS PER DC47 OF THE DEPARTMENT OF HEALTH'S PLAN SUBMISSION GUIDE.

DATE	REVISION
8/28/2024	REVISED AS PER DCDOH COMMENTS
12/17/2024	REVISED AS PER DCDOH COMMENTS
1/9/2025	REVISED AS PER DCDOH COMMENTS
3/3/2025	REVISED AS PER DCDOH COMMENTS

ENGINEERING, DESIGN, & PLANS PREPARED BY:

RENNIA ENGINEERING DESIGN, PLLC

CIVIL • ENVIRONMENTAL • STRUCTURAL

6 Dover Village Plaza, Suite 5, P.O. Box 400, Dover Plains, NY 12522

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LANDS OF Fila

TOWN OF DOVER

DUTCHESS COUNTY, NY

ACCESSORY APARTMENT SEWAGE DISPOSAL SYSTEM

DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY	JOB NO.	SHEET NO.
8/1/2023	1" = 40'	RED	RED	RAR	14-028	1 of 2

OWNER'S CONSENT NOTE:

THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT I AM FAMILIAR WITH THIS MAP, ITS CONTENTS AND LEGENDS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON AND TO THE FILING OF THIS PLAN IN THE OFFICE OF THE CLERK OF THE COUNTY OF DUTCHESS, IF REQUIRED.

SIGNED THIS 6 DAY OF March 2025

John Fila

OWNER'S SIGNATURE

OWNER'S NAME

SITE DATA

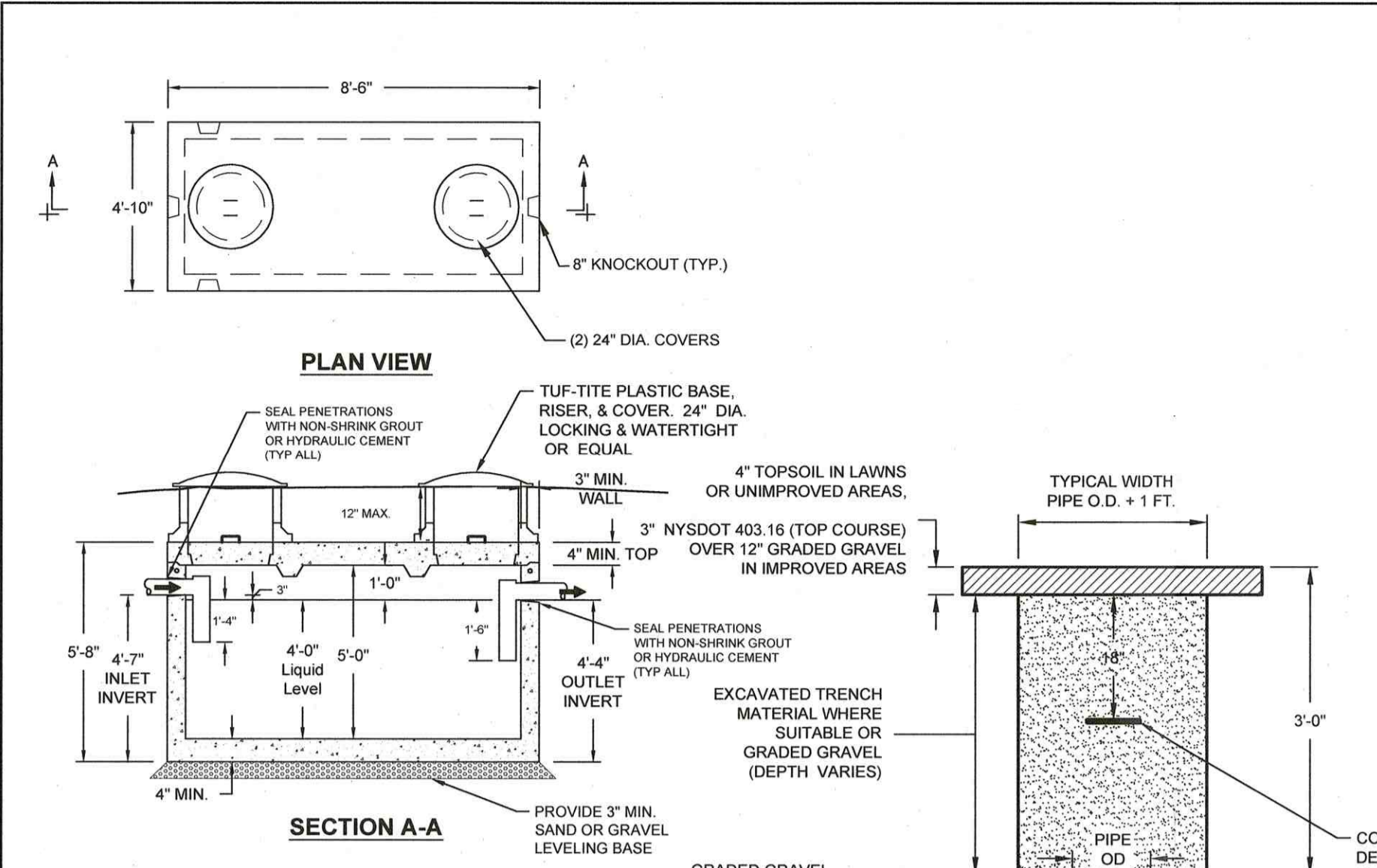
ZONING DISTRICT: "RU" RURAL DISTRICT

LOT SIZE: 3.32 ACRES

TAX GRID No.: 132600-7061-00-507209

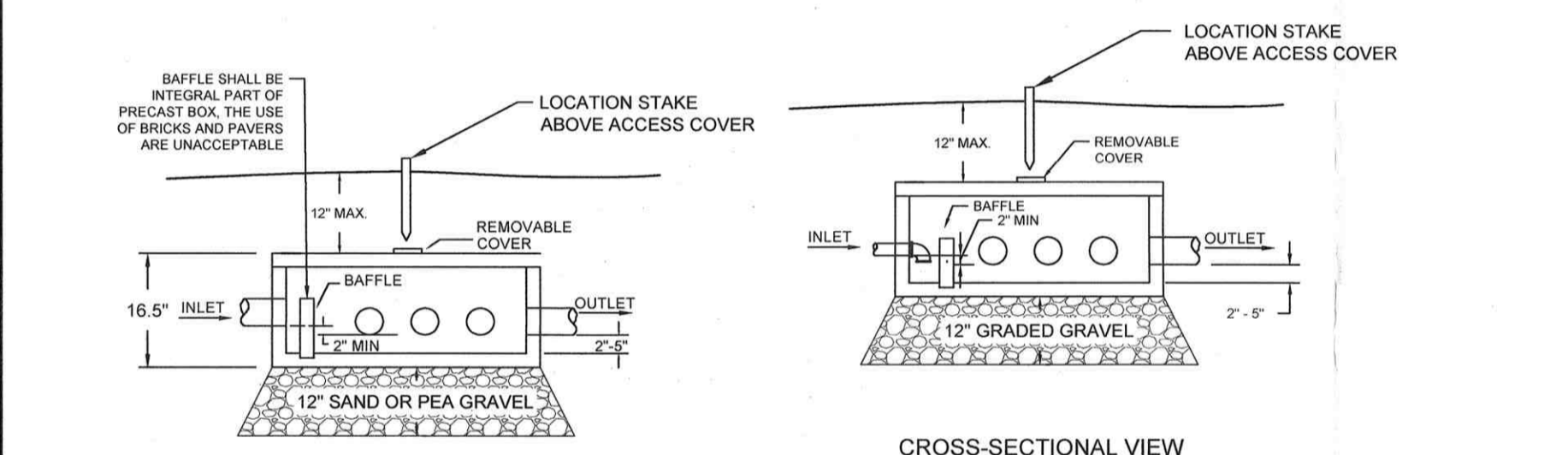
PROPERTY ADDRESS: 72 RAMAH ROAD WINGDALE, NY 12594

PROPERTY OWNER: JOHN Fila 72 RAMAH ROAD WINGDALE, NEW YORK 12594

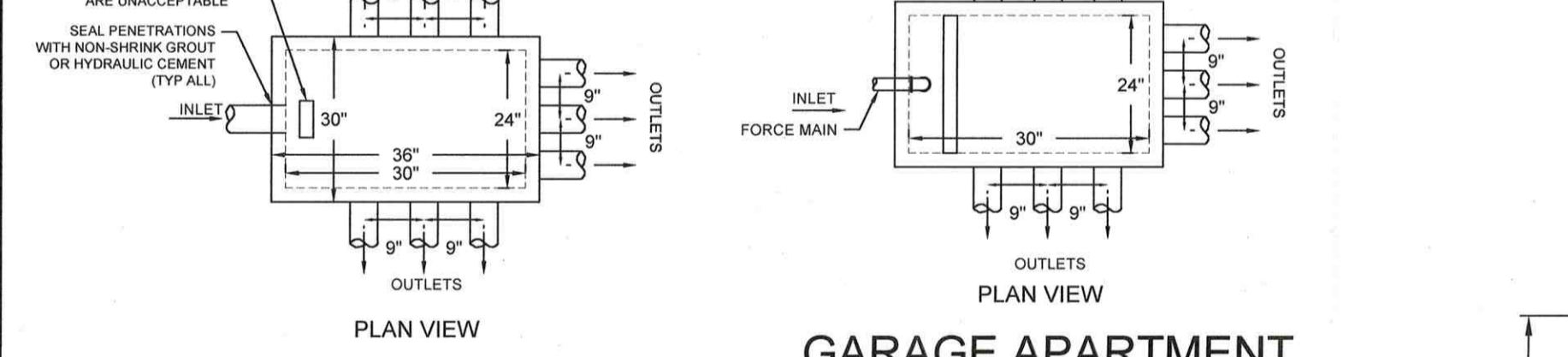


1,000 GALLON SEAMLESS SEPTIC TANK DETAIL

NOTES:
1. CONCRETE SEPTIC TANK TO BE NEW AND WATERTIGHT.
2. TOP TO SUPPORT AASHTO H10 NON-TRAFFIC LOAD.
3. DIMENSIONS AND CONFIGURATION MAY VARY DEPENDING UPON MANUFACTURER.
4. ALL PIPE PENETRATIONS TO USE 4" WATERTIGHT HDPE PIPE SEALS.
5. BUTYL RUBBER SEALANT AT ALL JOINTS.
6. CONCRETE STRENGTH - 4000 PSI AT 28 DAYS.
7. STEEL REINFORCEMENT: #4 REBAR, 6" X 6" X 10ga WWM.
8. INLET/OUTLET BAFFLES MAY BE USED INSTEAD OF SANITARY TEES.
9. CONTRACTOR SHALL DEMONSTRATE THAT THE SEPTIC TANK IS WATER TIGHT AND TEST SHALL BE WITNESSED BY DESIGN ENGINEER OR A DOH REPRESENTATIVE.
10. MAXIMUM DEPTH OVER SEPTIC TANK IS 12" WITHOUT RISERS. PROVIDE RISER FOR DEPTHS GREATER THAN 12".
11. GRADE IS TO SLOPE AWAY FROM THE MANHOLES.

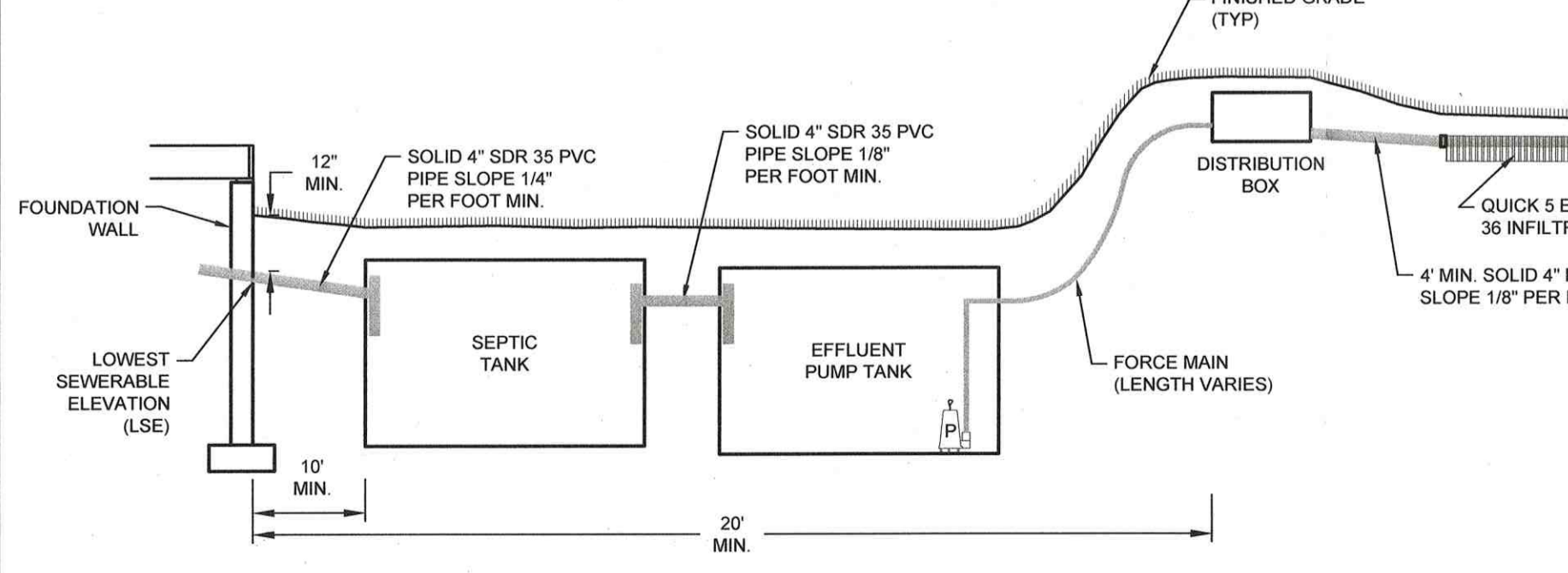


SEWER FORCE MAIN TRENCH DETAIL

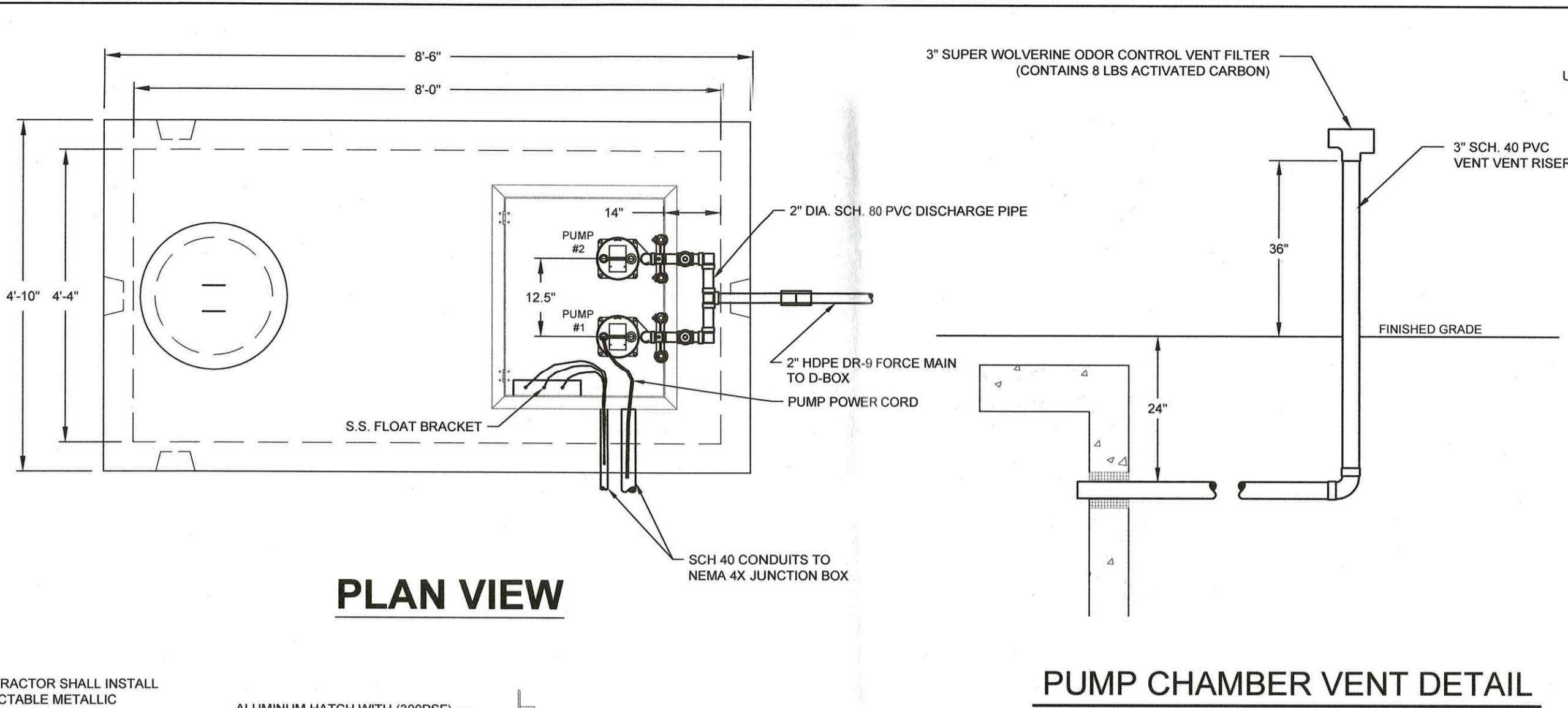


5-BEDROOM HOME RESERVE PRE-CAST CONCRETE DISTRIBUTION BOX

NOTES:
1. PROVIDE A MINIMUM OF 4" OF SOLID PIPE BETWEEN DISTRIBUTION BOX AND LATERALS.
2. BOX SHALL BE SET LEVEL.
3. INVERT OF ALL OUTLETS TO BE SET AT SAME ELEVATION, SPEED LEVELERS TO BE USED IF NECESSARY.
4. FILL UNUSED OUTLETS WITH CONCRETE.
5. NUMBER OF PENETRATIONS AS REQUIRED PER DESIGN SCHEDULE.
6. DESIGN LOADING: AASHTO H10.
7. CONCRETE STRENGTH: 5,000 P.S.I. 28 DAYS.
8. STEEL REINFORCEMENT: 6" X 6" X W2.9 X W2.9 WWM.
9. DIMENSIONS MAY VARY BETWEEN MANUFACTURERS.

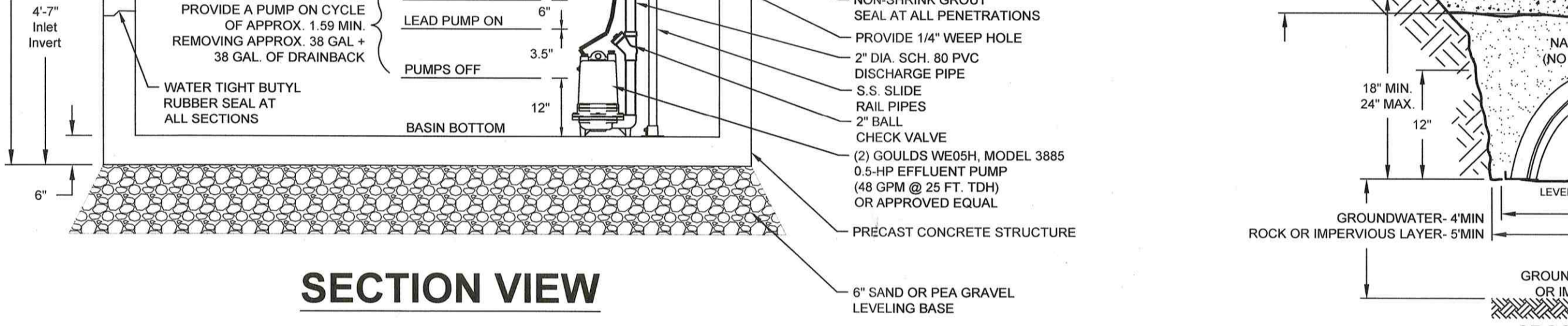


TYPICAL DISPOSAL SYSTEM PROFILE



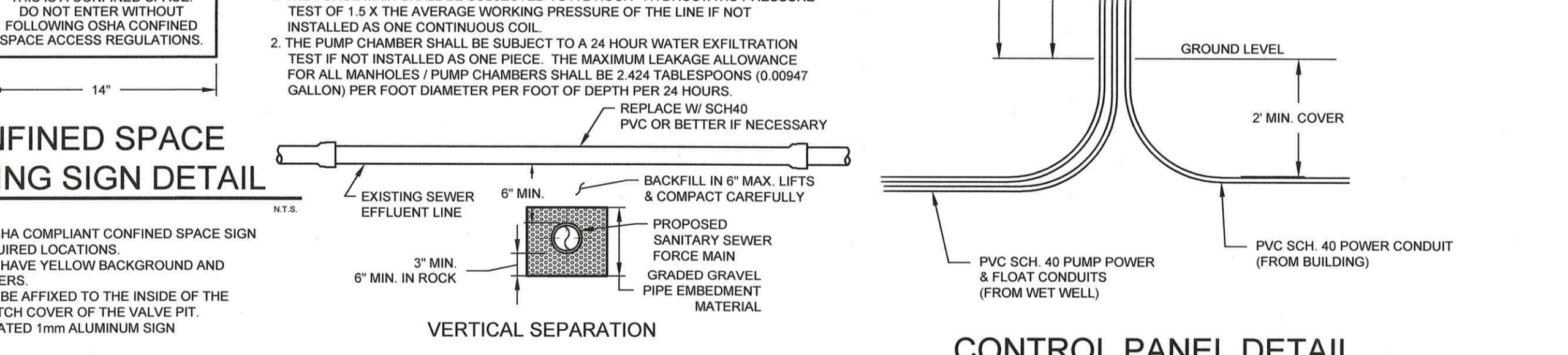
PUMP CHAMBER VENT DETAIL

NOTES:
1. SITE CONTRACTOR SHALL INSTALL A VENT IN THE WASTEWATER PUMP CHAMBER.
2. THE VENT SHALL BE INSTALLED WITH AN ACTIVATED CARBON FILTER TO CONTROL ODORS.
3. ALL VENTS SHALL BE MAINTAINED AND INSPECTED ON A QUARTERLY BASIS.



1,000 GALLON PUMP TANK W/ SLIDE RAILS DETAIL

NOTES:
1. CONCRETE PUMP TANK TO BE NEW AND WATERTIGHT.
2. TOP TO SUPPORT AASHTO H10 NON-TRAFFIC LOAD.
3. DIMENSIONS AND CONFIGURATION MAY VARY DEPENDING UPON MANUFACTURER.
4. ALL PIPE PENETRATIONS TO USE 4" WATERTIGHT HDPE PIPE SEALS.
5. BUTYL RUBBER SEALANT AT ALL JOINTS.
6. CONCRETE STRENGTH - 4000 PSI AT 28 DAYS.
7. STEEL REINFORCEMENT: #4 REBAR, 6" X 6" X 10ga WWM.
8. INLET/OUTLET BAFFLES MAY BE USED INSTEAD OF SANITARY TEES.
9. CONTRACTOR SHALL DEMONSTRATE THAT THE PUMP TANK IS WATER TIGHT AND TEST SHALL BE WITNESSED BY DESIGN ENGINEER OR A DOH REPRESENTATIVE.
10. MAXIMUM DEPTH OVER PUMP TANK IS 12". PROVIDE RISER FOR DEPTHS GREATER THAN 12".
11. REFER TO ENGINEER'S REPORT FOR PUMP SETTINGS FOR 100% RESERVE SYSTEM.
12. THE GRADE SHALL SLOPE AWAY FROM THE ACCESS PORT.

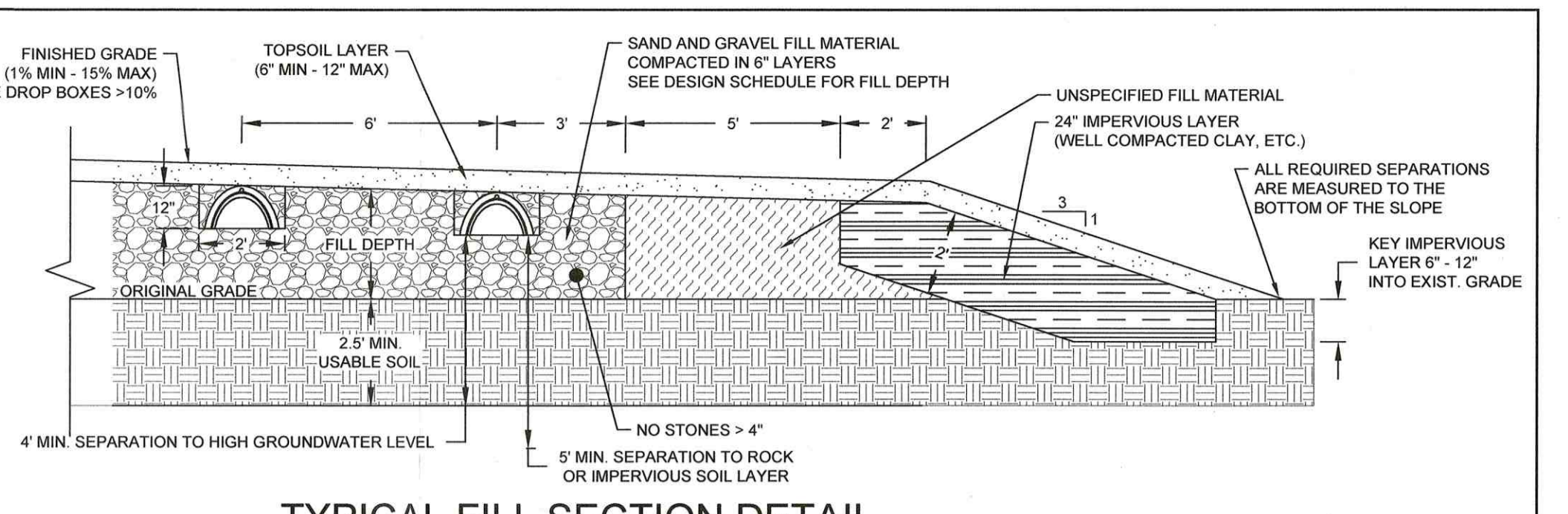


CONTROL PANEL DETAIL

NOTES:
1. ALL ELECTRICAL WORK TO BE PERFORMED SHALL CONFORM TO THE NATIONAL ELECTRIC CODE (NEC).
2. ELECTRICAL CONTRACTOR TO DETERMINE CONDUIT SIZES IN ACCORDANCE WITH THE NEC.
3. ELECTRICAL CONTRACTOR TO COORDINATE ALL REQUIRED PENETRATIONS & SIZES WITH SITE CONTRACTOR AND/OR PRECAST MANUFACTURER.
4. ALL FASTENERS, BOLTS, ETC. USED TO MOUNT THE ELECTRICAL EQUIPMENT SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL.

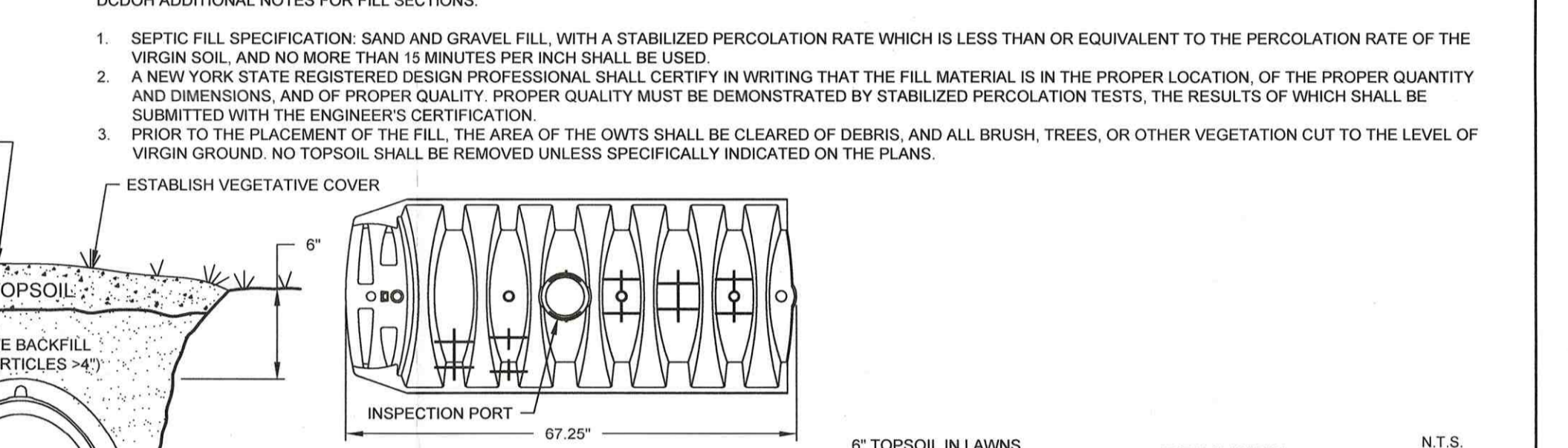
DATE	REVISION
8/28/2024	REVISED AS PER DCDOH COMMENTS
1/9/2025	REVISED AS PER DCDOH COMMENTS
3/3/2025	REVISED AS PER DCDOH COMMENTS

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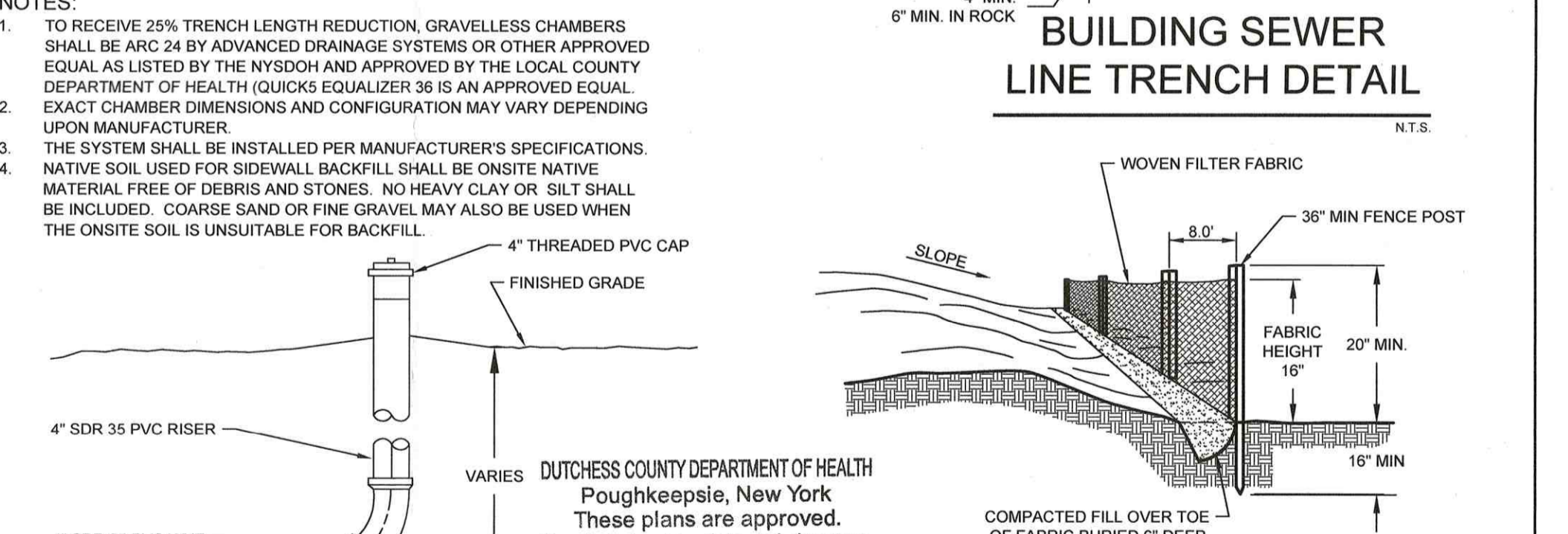
TYPICAL FILL SECTION DETAIL

DCDOH NOTES FOR TYPE I CONVENTIONAL FILL SYSTEM. N.T.S.
1. REPLACEMENT OWTS SHALL BE SUFFICIENTLY SEPARATED FROM THE PRIMARY OWTS SUCH THAT IMPERVIOUS FILL FROM THE PRIMARY OWTS DOES NOT INTERFERE WITH THE REPLACEMENT OWTS DESIGN.
2. FILL SHALL CONSIST OF SAND AND GRAVEL FILL WITH NO STONES > 4". THE SAND AND GRAVEL FILL MUST EXTEND 3 FEET BEYOND THE CENTER OF THE TRENCH. AFTER THE SAND AND GRAVEL FILL, THERE MUST BE 7 FEET OF ADDITIONAL SOIL, WITH THE FINAL 2 FEET BEING IMPERVIOUS SOIL WITH A ONE VERTICAL TO THREE HORIZONTAL SLOPE. THE TOE OF THE SLOPE SHALL EXTEND INTO THE VIRGIN SOIL 6 TO 12 INCHES DEEP AND 24 INCHES WIDE. TOPSOIL AND GRASS SEED SHALL BE APPLIED OVER THE FILL PER THE APPROVED PLAN.
3. THE PERCOLATION RATE OF THE SAND AND GRAVEL FILL SHALL BE EQUIVALENT TO OR LESS THAN THE PERCOLATION RATE OF THE NATURAL SOIL AND SHALL BE NO MORE THAN 15 MINUTES PER INCH STABILIZED RATE. THE DESIGN APPLICATION RATE SHALL BE BASED ON THE PERCOLATION RATE OF THE NATURAL SOIL. THE DESIGN APPLICATION RATE OF THE FILL SHALL BE USED WHERE THE PERCOLATION RATE OF THE FILL IS GREATER THAN THE PERCOLATION RATE OF THE NATURAL SOIL.
4. PRIOR TO THE PLACEMENT OF THE FILL, THE AREA OF THE OWTS SHALL BE CLEARED OF DEBRIS, AND ALL BRUSH, TREES, OR OTHER VEGETATION CUT TO THE LEVEL OF THE VIRGIN GROUND. NO TOPSOIL SHALL BE REMOVED UNLESS SPECIFICALLY INDICATED ON THE PLANS.
5. THE SAND AND GRAVEL FILL SHALL BE MECHANICALLY COMPACTED IN 6 INCH LAYERS IN A MANNER WHICH WILL ALLOW ADEQUATE PERCOLATION THROUGHOUT THE FILL, OR BE ALLOWED TO SETTLE AND STABILIZE FOR A PERIOD OF AT LEAST SIX MONTHS TO INCLUDE ONE FREEZE-THAW CYCLE.
6. FOR LOTS PROPOSED TO BE IMPROVED WITH FILL OTHER THAN SAND AND GRAVEL FILL, FILL SHALL BE A GRAVELLY LOAM (GRAVEL, SAND, SILT, AND CLAY MIXTURE). OWTS SHALL BE SIZED BASED ON THE PERCOLATION RATE OF THE FILL OR NATURAL SOIL, WHICHEVER IS GREATER, AND THE FILL SHALL BE ALLOWED TO SETTLE AND STABILIZE FOR A PERIOD OF AT LEAST SIX MONTHS TO INCLUDE ONE FREEZE-THAW CYCLE.
7. DEEP TESTS AND PERCOLATION TESTS SHALL BE REQUIRED IN THE FILL AFTER SETTLING AND STABILIZATION, (OR COMPACTION, IF SAND AND GRAVEL IS USED).
8. THE FILL INCLUDING LOCATION, MATERIAL AND DIMENSION, MUST BE IN PLACE AND CERTIFIED TO DC EHS BY A DESIGN PROFESSIONAL AS BEING SUITABLE FOR THE INSTALLATION OF THE OWTS. THE DESIGN PROFESSIONAL SHALL CERTIFY IN WRITING THAT THE FILL MATERIAL IS IN PROPER LOCATION, OF THE PROPER QUANTITY AND DIMENSIONS, AND OF PROPER QUALITY. PROPER QUALITY MUST BE DEMONSTRATED BY STABILIZED PERCOLATION TESTS, THE RESULT OF WHICH SHALL BE SUBMITTED WITH THE ENGINEER'S CERTIFICATION.



GRAVELLESS ABSORPTION TRENCH DETAIL

NOTES:
1. TO RECEIVE 25% TRENCH LENGTH REDUCTION, GRAVELLESS CHAMBERS SHALL BE ARC 24 BY ADVANCED DRAINAGE SYSTEMS OR OTHER APPROVED EQUAL AS LISTED BY THE NYSDOH AND APPROVED BY THE LOCAL COUNTY DEPARTMENT OF HEALTH (QUICKS EQUALIZER 36 IS AN APPROVED EQUAL UPON MANUFACTURER).
2. EXACT CHAMBER DIMENSIONS AND CONFIGURATION MAY VARY DEPENDING UPON MANUFACTURER.
3. THE SYSTEM SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
4. NATIVE SOIL USED FOR SIDEWALL BACKFILL SHALL BE ON SITE NATIVE MATERIAL FREE OF DEBRIS AND STONES. NO HEAVY CLAY OR SILT SHALL BE INCLUDED. COARSE SAND OR FINE GRAVEL MAY ALSO BE USED WHEN THE ON SITE SOIL IS UNSUITABLE FOR BACKFILL.



BUILDING SEWER LINE TRENCH DETAIL

NOTES:
1. LOCATE POSTS DOWNSIDE OF FABRIC TO HELP SUPPORT FENCING.
2. BURY TOE OF FENCE APPROXIMATELY 6" DEEP TO PREVENT UNDERCUTTING.
3. WHEN JOINTS ARE NECESSARY, SECURELY FASTEN THE FABRIC AT A SUPPORT POST WITH OVERLAP TO THE NEXT POST.

DATE	REVISION
8/28/2024	REVISED AS PER DCDOH COMMENTS
1/9/2025	REVISED AS PER DCDOH COMMENTS
3/3/2025	REVISED AS PER DCDOH COMMENTS

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SUE SERINO
COUNTY EXECUTIVE



LIVIA SANTIAGO-ROSADO, MD, FACEP
COMMISSIONER

ANTHONY J. RUGGIERO, MPA
ASSISTANT COMMISSIONER

DUTCHESS COUNTY GOVERNMENT
DEPARTMENT OF HEALTH

NOTIFICATION OF APPROVAL

John C. Fila
72 Ramah Road
Wingdale, NY 12594

RECEIVED

By Marilyn Van Millon at 3:27 pm, Apr 30, 2025

Re: Fila OWTS & Well Location for a 2-Bedroom Accessory Apt.
Tax Map Number: 132600-7161-00-507209
Town of Dover

The plan for the above referenced project was approved on March 21, 2025, as meeting the appropriate and applied technical standards, guidelines, policies, and procedures for the arrangement of the onsite wastewater treatment system and water supply facilities. Said approval showed 1 lot with a 5-bedroom home and a 2-Bedroom accessory apartment over a detached garage. As a condition of approval, a construction inspection by a representative of the Dutchess County Department of Health shall be conducted to determine that construction at the time of inspection was completed in general conformance with the approved plan and any amendment thereof.

Before you undertake construction, contact the Town of Dover Building Department, and complete an application for a building permit (DC SAN-34). When this form has been submitted, you must contact our Poughkeepsie field office to schedule a pre-construction conference, to ensure that the arrangements for water supply and onsite wastewater treatment system is commenced in accordance with the approved plans and amendments thereto and generally accepted standards.

Approval of the plan or amendment thereof shall terminate and thereafter be null and void unless construction is undertaken within five (5) years from the date of approval. Resubmission or revised submission of plans and/or associated documents shall be subject to compliance with the technical standards, guidelines, policies, and procedures in effect at the time of resubmission.

The Dutchess County Sanitary Code requires that a permit be issued prior to construction of a water well. Application for a permit (DC SAN-35) should be made to the Dutchess County Department of Health by the well driller.

cc: Richard A. Rennia, Jr., P.E. (w/plan & report)
Thomas Harvey, Project Engineer
Donn Andersen, Bldg. Inspector
File 126014 (w/ 2/plans & 2 reports)

Date: March 24, 2025

A handwritten signature in black ink, appearing to read "Ronald D. Miller".

Ronald D. Miller, P.E.
Senior Public Health Engineer
Environmental Health Services

Fila (August 21, 2023)

Town of Dover Planning Board

Town of Dover
126 East Duncan Hill Road
Dover Plains, NY 12522



(845) 832-6111 ext. 100

RESOLUTION TO GRANT SPECIAL USE PERMIT AND SITE PLAN APPROVAL

FILA ACCESSORY APARTMENT

WHEREAS, the applicant, John C. Fila, has submitted an application for a minor special use permit with site plan approval to allow the conversion of the second floor of an existing detached garage structure into a 725 sq. ft. two-bedroom accessory apartment (the "Project") on property located at 72 Ramah Road, Wingdale, identified as tax parcel no. 7161-00-507209, in the RU Zoning District (the "Project Site"); and

WHEREAS, the Project is shown on a site plan entitled, "Lands of Fila, Proposed Accessory Apartment," prepared by Rennia Engineering Design, PLLC, dated March 23, 2023, last revised July 19, 2023 (the "Site Plan"); and

WHEREAS, pursuant to Section 145-12C of the Town of Dover Zoning Law, one accessory apartment per single-family dwelling may be located in an accessory structure or principal building and the accessory apartment shall not be counted as a residential unit for purposes of determining density; and

WHEREAS, pursuant to Section 145-12C of the Town of Dover Zoning Law, no special permit shall be granted for an accessory apartment without approval or certification from the Dutchess County Department of Health on the adequacy of the septic system; and

WHEREAS, the applicant has submitted a Short Environmental Assessment Form ("EAF") dated March 23, 2023, pursuant to the State Environmental Quality Review Act ("SEQRA"); and

WHEREAS, on April 17, 2023, the Planning Board classified the Project as a Type II SEQRA action; and

WHEREAS, on April 17, 2023, the Planning Board referred the application to the Dutchess County Department of Behavioral and Community Health and the applicant has modified the Site Plan pursuant to comments received; and

WHEREAS, a duly noticed public hearing was opened on June 5, 2023, and closed on August 7, 2023, during which all those who wished to speak were heard.

Fila (August 21, 2023)

NOW THEREFORE BE IT RESOLVED, that the Planning Board hereby finds that the proposed Project complies with the standards for a minor special use permit in § 145-63A of the Zoning Law.

BE IT FURTHER RESOLVED, that the Planning Board hereby grants special use permit and plan approval to permit the Project, as shown on the Site Plan, and authorizes the Chair or his authorized designee to sign the Site Plan after compliance with the following conditions:

1. Payment of all fees and escrow.
2. Department of Health Approval for the methods of water supply and sewage disposal.
3. Revision of Site Plan to amend the bulk table to include a new row labeled “Maximum Floor Area – Accessory Apartment”. In the “Required” column, indicate “1000 square feet maximum”. In the “Existing” and “Proposed” columns, indicate “725 square feet”.

Resolution Approved:

Date: August 21, 2023

Moved by: Member Roman

Seconded by: Member LaRobardier

Ryan Courtien	aye
R. Thomas Holmes	absent
Valerie LaRobardier	aye
Tamar Roman	aye
William Sedor	absent
Michael Villano	aye
Henry Williams	aye



Planning Board Chair, Ryan Courtien

RECEIVED

By Marilyn Van Millon at 10:04 am, May 19, 2025

Memorandum

To: Town of Dover Planning Board
From: AKRF, Inc.
Date: May 16, 2025
Re: Fila Accessory Apartment Special Permit / Site Plan – 72 Ramah Road
Rennia Engineering Design, PLLC (Applicant's Engineer)
cc: Victoria Polidoro, Esq. (Planning Board Attorney)
Joseph Berger (Planning Board Engineer)

AKRF, Inc. has reviewed the following documents and plans for the above referenced application:

- Cover letter to the Planning Board prepared by Rennia Engineering Design, PLLC, dated April 29, 2025.
- Site Plan Application, signed and dated April 29, 2025.
- Disclosure of Interest, signed and dated April 29, 2025.
- Letter of Agent, signed and dated April 29, 2025.
- Short Environmental Assessment Form, signed and dated April 29, 2025.
- Town of Dover Planning Board Site Plan and Special Use Permit Approval Resolution dated August 21, 2023.
- Notification of Approval Letter from the Dutchess County Health Department dated March 24, 2025.
- Lands of Fila – Accessory Apartment Sewage Disposal System plans (2 sheets) prepared by Rennia Engineering Design, PLLC, dated March 2025 and signed by the Dutchess County Health Department.
- Lands of Fila – Accessory Apartment Site Plan (1 sheet) prepared by Rennia Engineering Design, PLLC; revised April 29, 2025.

The Applicant and subject property owner, John Fila, was granted special permit and site plan approval from the Planning Board in August 2023 for the legalization of an existing 2-bedroom apartment that is accessory to the principal residence at 72 Ramah Road (132600-7161-00-507209). The subject property is approximately 3.32 acres in size and is zoned RU. The accessory apartment is approximately 725 square feet in area, located on the 2nd floor of an existing detached garage structure which was renovated in 2021. As part of the renovations, the two bedrooms were added to the 2nd floor of the garage structure, and connected to the garage's existing subsurface sewage disposal system (SSDS).

Prior to satisfaction of the conditions listed in the Planning Board's August 21, 2023 approval resolution, the Applicant's site plan approval expired. However, the special use permit remains valid. The Applicant has submitted documentation to satisfy the conditions of the prior site plan approval and is requesting the Planning Board re-approve the site plan.

COMMENTS

1. Pursuant to Zoning Code Section 145-10, accessory apartments are permitted as special permit uses in the RU district. The Planning Board granted special use permit and site plan approval for the accessory apartment on August 21, 2023. The special permit remains valid, but the site plan expired prior to the Applicant satisfying the following conditions listed in the August 21, 2023 approval resolution:

- a. Payment of all fees and escrow.

As noted in the Applicant's April 29, 2025 cover letter, the escrow account contains sufficient balance for this project. An additional site plan application fee of \$525 has been provided for the requested review and re-approval of the previously approved plans that have not changed.

- b. Department of Health approval for the methods of water supply and sewage disposal.

As noted in the Applicant's April 29, 2025 cover letter, the Dutchess County Department of Health has approved the proposed water supply and sewage disposal system. A "notification of approval" letter from the County Health Department dated March 24, 2025 has been provided as part of the submission. The Applicant has also provided a copy of the site plan signed by the Department of Health on March 21, 2025.

- c. Revision of the Site Plan to amend the bulk table to include a new row labeled "Maximum Floor Area – Accessory Apartment." In the "Required" column, indicate "1,000 square feet maximum." In the "Existing" and "Proposed" columns, indicate "725 square feet."

As noted in the Applicant's April 29, 2025 cover letter, the site plan has been amended to include the additional notations. AKRF has no further comments on the site plan.

2. Since the application is for re-approval of an expired site plan and not an amendment to a site plan that has not expired, this application will require a public hearing.
3. The location of the subject property does not trigger any requirements for referral of the site plan to the Dutchess County Department of Planning pursuant to General Municipal Law 239-m.
4. Similar to the prior application, this application can be considered a Type II Action under the State Environmental Quality Review Act (SEQRA), which requires no environmental review. The applicable Type II citation is as follows:

"6 CRR-NY 617.5(c)(11) - Construction or expansion of a single-family, a two-family or a three-family residence on an approved lot including provision of necessary utility connections as provided in paragraph (13) of this subdivision and the installation, maintenance or upgrade of a drinking water well or a septic system or both, and conveyances of land in connection therewith."

RECOMMENDATIONS

At the May 19, 2025 meeting, AKRF recommends the Planning Board classify the application as a Type II action under SEQRA and set a public hearing.

May 28, 2025

Ryan Courtien
Planning Board Chair
Town of Dover
126 East Duncan Hill Road
Dover Plains, NY 12522

RECEIVED

By Marilyn Van Millon at 11:19 am, May 28, 2025

RE: 198 AR Home
Special Use and Erosion and Sediment Control Permit
198 Dog Tail Corners Road
Town of Dover
Tax ID # 7160-00-927735

Dear Chairman Courtien:

Enclosed please find fourteen (14) copies of the following documents in support of a Special Use Permit and Erosion and Sediment Control Permit Application:

- Site Plan Drawing Set (3 Sheet Total), last revised May 28, 2025. (3 Full Size, 11 reduced copies)
- Letter from Donn Andersen, dated March 21, 2025.
- Town of Dover Zoning Board of Appeals Resolution, dated May 12, 2025.
- Hauser to Strawbridge Deed.
- One (1) Flash Drive with a digital copy of the Full Application.

With regards to comments received from the town consultants, we offer the following:

Memorandum from AKRF, Inc dated, February 28, 2025:

1. *An accessory apartment is defined in the Town Code as follows:*

"A dwelling unit occupying the lesser of 1,000 square feet or 30 percent of the floor space of an owner occupied structure containing a principal use that is single-family residential or nonresidential, or a dwelling unit no larger than 1,000 sf located in an accessory structure on an owner occupied property." The proposed cabin is an accessory structure on an owner-occupied property, with a floor area less than 1,000 sf (approximately 416 sf). While the accessory cabin appears to meet the floor area thresholds from the accessory apartment definition, Section 145-11(C) of the Zoning Code states that "the minimum floor area of a dwelling unit shall be 800 sf, and the minimum for an accessory apartment shall be 500 sf." The cabin does not fully meet the Town's definition of a "dwelling unit," since a full kitchen is not proposed (a kitchenette is shown). Therefore, it is unclear if the cabin can be treated as an accessory apartment under the Code. The proposed use of the cabin appears to be more of a lodging / extra bedroom use for guests of the property owner. From Town Code §145-74 a dwelling unit is defined as "a building or portion thereof providing complete housekeeping facilities for one family." If the application proceeds as an accessory apartment and the Applicant later decides to rent out the cabin to a tenant, they would have gone through the proper review process with the Planning Board. However, the Applicant may be required by the Town Building Department at a later date to bring the unit up to code as a "dwelling unit" (install a stove, etc.). In consideration of the above, the board can seek input from the Code Enforcement Officer on the applicability of a special permit for this application. If the CEO interprets the cabin as an accessory apartment under the Code, granting of an area variance through the ZBA appears necessary due to the floor area being below the minimum 500 sf. The remaining comments in this memorandum assume the cabin can be treated as an accessory apartment subject to a special permit approval from the Planning Board.

Based interpretation of the Town Code provided in the attached letter from Donn Andersen, Town of Dover Building Inspector, the proposed cabin is not required to meet the Town definition of a "dwelling unit". As such, the applicant submitted an application to the Town of Dover Zoning Board of Appeals (ZBA) for an area variance for not meeting the minimum 500sf

floor area for the proposed cabin. An area variance for the proposed cabin was granted by the ZBA at the May 12, 2025 meeting.

2. Pursuant to Zoning Code §145-12C, one accessory apartment per single-family dwelling may be located in an accessory structure, and the lot containing the accessory apartment must contain the minimum acreage required by the Dimensional Table (§145-11B) (2 acres for the RU district). The subject property is approximately 4.3-acres, which is above the minimum 2 acres. As shown in the Bulk Regulations table on the Site Plan drawing, the primary residence and the proposed accessory cabin appear to meet all yard setback requirements for the RU district.

Comment acknowledged.

3. As shown in the Bulk Regulations table on the Site Plan drawing, the primary residence and the proposed accessory cabin appear to meet all yard setback requirements for the RU district.

Comment acknowledged.

4. Since the subject property is within the Stream Corridor Overlay, a note should be added to the Site Plan that indicates any future development is subject to provisions/restrictions found at Section 145-14 of the Town of Dover Zoning Code. Additional comments related to the overlay are found below.

General Note #8 has been added to Drawing OP-1 on the revised site plan set.

5. Since the subject property is within the Town's Aquifer Overlay District, specifically the Principal Aquifer Zone (PAZ). A note should be added to the Site Plan that indicates any future development is subject to provisions/restrictions found at Section 145-15 of the Town of Dover Zoning Code.

General Note #9 has been added to Drawing OP-1 on the revised site plan set.

6. The approximate boundary of the 100-year floodplain is shown on the Site Plan and the proposed cabin is located outside of the floodplain. A floodplain development permit should not be required.

Comment acknowledged.

7. The subject property requires 4 total parking spaces pursuant to §145-38A(2) of the Zoning Code. The existing and proposed condition depicted in the Site Plan set shows adequate space exists for these parking spaces.

Comment acknowledged.

8. The Applicant has applied for the erosion and sediment control permit in connection with the special permit request. AKRF defers to the Town Engineer for review of the Erosion and Sediment Control permit requirements of Town Code Chapter 65. The cabin's location within the Stream Corridor Overlay requires ESC permit approval if the total disturbance exceeds 10,000 square feet.

Comment acknowledged.

9. The Tenmile River abuts the subject property to the east and the southern extent of the property contains an unnamed stream that flows into the river, making the property subject to the Stream Corridor Overlay District requirements (Code Section 145-14). The Stream Corridor overlay extends 150 feet from the boundary of the river and the stream. These boundaries appear to be depicted correctly on the Site Plan drawing. Within the 150-foot boundary of the overlay, the Zoning Code requires a 100-foot setback for structures, which is also depicted on the plans. The proposed cabin and associated limits of disturbance are located beyond the 100-foot structural setback and therefore appear to be in compliance with the overlay.

However, because the cabin itself is within the 150-foot boundary of the overlay, it requires an erosion and sediment control permit if the area of disturbance exceeds 10,000 square feet (145-14F). The Applicant has applied for the erosion and sediment control permit in connection with the special permit request.

Comment acknowledged.

10. Wetlands: Based on aerial photography and the NYSDEC Environmental Resource Mapper, the western extent of the subject property appears to contain freshwater wetlands. There is also an unnamed stream along the southern boundary of the lot that feeds into the Tenmile River. The wetland area (and stream) has not been formally delineated by the Applicant. Rather, the Applicant has approximated the extent of the wetland area based on the available 2-foot contour topographic data from Dutchess County Parcel Access GIS, which shows that there is an approximate 10-foot grade change between the approximate area of the wetland and the remainder of the property's lawn area. Recent changes to NYSDEC's wetland regulations require a Parcel Jurisdictional Determination (Parcel JD) be submitted through NYSDEC's online request form, available here: <https://survey123.arcgis.com/share/be5c071ff72d4876986b18488721e55f>. A Parcel JD is an assessment made by NYSDEC as to whether a property includes regulated freshwater wetlands or regulated adjacent areas within the area boundaries. The Parcel JD does not state the extent of the wetlands on the property, only if there are jurisdictional wetlands present. To obtain information on the

extent of a wetland, a wetland delineation needs to be done to confirm wetland boundaries. Within 90 days, DEC will provide a JD letter indicating the status of jurisdictional wetlands (i.e., positive or negative) within the requested area. A negative parcel jurisdictional determination means there are no protected wetlands within the area indicated in the request and no wetland permit will be needed for any activities within the defined parcels. A positive parcel jurisdictional determination means there are protected wetlands within the area indicated in the request, and coordination with regional DEC staff is necessary to determine if a wetland permit may be needed. There is also a "Consultant Option" for Parcel JD requests where the project has hired a consultant, information on this option is available here: <https://dec.ny.gov/sites/default/files/2025-02/parceljdconsultant.pdf>. Under this option, which requires a delineation by a professional consultant, NYSDEC's Bureau of Ecosystem Health will review and schedule a boundary validation. AKRF recommends the Applicant review the new regulations and submit the Parcel JD request under either option. As the response time from NYSDEC can vary, the Planning Board may wish to observe the wetland conditions on the property through a site visit in the interim.

A Parcel Jurisdictional Determination (JD) request was submitted to the NYSDEC on March 4, 2025. No response has been received to date. The 90 day review period for the Parcel JD submission will conclude on June 2, 2025.

11. Pursuant to Zoning Code Section 145-10, "accessory apartments" are permitted as special permit uses in the RU district. The submitted application meets the code's definition of a minor project, and a public hearing will be required.

Comment acknowledged. We would respectfully request that the Planning Board set a public hearing date at the June 16, 2025 meeting.

12. Pursuant to Section 37-5 of the Town Code, architectural review of the proposed cabin by the Planning Board (acting as the Architectural Review Board) appears to be required due to the use being subject to a special permit. Architectural plans have been provided by the Applicant.

Comment acknowledged. We would respectfully request that the Planning Board provide any comments regarding the architecture of the proposed cabin.

13. Since the subject property falls within 500 feet of Dog Tail Corners Road (a County Road) and within 500 feet of a farm operation within an agricultural district, the application is subject to referral to the Dutchess County Department of Planning pursuant to General Municipal Law 239-m. The County is required to respond within 30-days of receipt of the referral.

Comment acknowledged. It is our understanding that the application is exempt from 239-m review as it is a special permit for a residential use based on previous project.

14. Dutchess County Department of Behavioral and Community Health approval will be required for the proposed septic system upgrades on the property. According to the plans, the Applicant proposes to install a new 1,000 gallon septic holding tank that will not be connected to the existing disposal system. It is assumed the holding tank will require periodic pumping by a private disposal company. AKRF defers to the Town Engineer for any comments on the proposed design, including County Health Department procedures/policy related to the use of a holding tank with no disposal system.

Comment acknowledged. Our office has had further discussion with the Dutchess County Department of Behavioral and Community Health and we are in the process of scheduling witnessed soil testing and preparation of plans for the review and approval of the proposed septic system.

15. The subject property appears to share a driveway with the property to the north (202 Dog Tail Corners Road). If documentation related to the shared driveway condition is available, it should be shared with the Planning Board Attorney.

The ingress and egress easement over the subject property for the shared driveway with the parcel to the south is described in Schedule A of the deed document from John T. Hauser to David A. Strawbridge enclosed herewith.

16. Since this application would technically result in a "two-family residence" on an approved lot, the application can be considered a Type II Action under the State Environmental Quality Review Act (SEQRA), which requires no environmental review. The applicable Type II citation is as follows: "6 CRR-NY 617.5(c)(11) - Construction or expansion of a single-family, a two-family or a three-family residence on an approved lot including provision of necessary utility connections as provided in paragraph (13) of this subdivision and the installation, maintenance or upgrade of a drinking water well or a septic system or both, and conveyances of land in connection therewith."

Comment acknowledged. We respectfully request the Planning Board complete the SEQR process as the June 16, 2025 meeting by considering the proposed action a Type II Action under SEQRA.

Memorandum from Joseph Berger, P.E., L.S., of Berger Engineering and Surveying, dated February 21, 2025:

1. *Plans show a proposed septic tank and the narrative states a new onsite subsurface sewage treatment system is being proposed. Is it the plan to connect to the existing SDS or is a new SDS proposed. If a new SDS is proposed the design needs to be shown. If the existing SDS is being used does it have capacity for the additional structure being proposed*
The site plans have been revised to show the proposed subsurface sewage treatment system.
2. *If a new SDS is proposed the area of disturbance will be increased and additional erosion control may be needed*
Erosion and sediment control facilities are proposed downhill of all proposed soil disturbance activities to prevent the migration of sediment into the downstream receiving waterbodies.

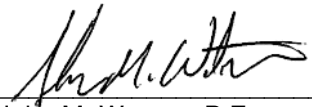
We kindly request the application be placed on your June 16, 2025 Planning Board agenda for further review and discussion in order to complete the SEQR process and set a date for the public hearing.

It should be noted that the applicant has replenished the escrow account for the subject special use permit application and the balance has been increased as requested by the Planning Board and its consultants.

Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

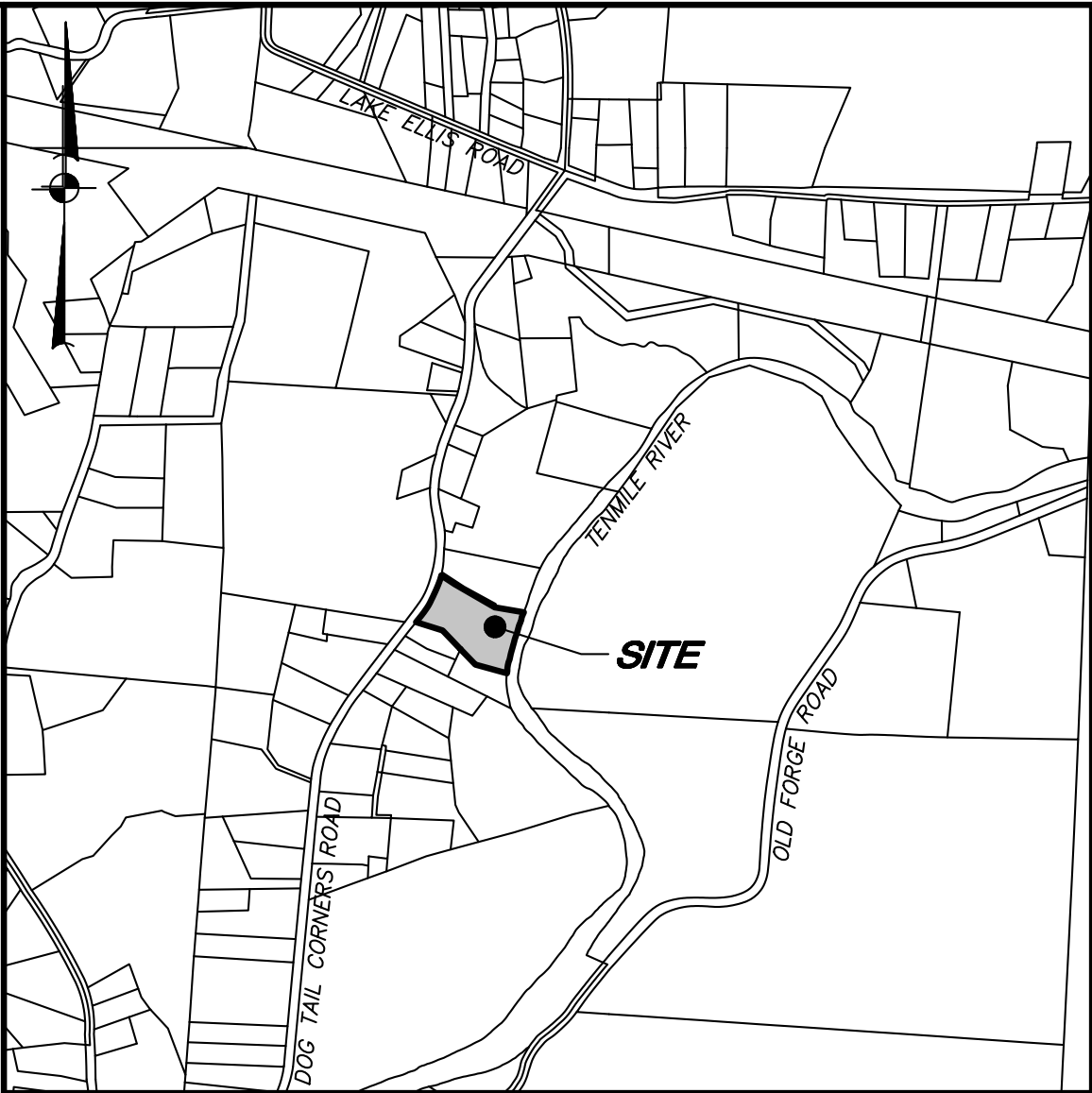
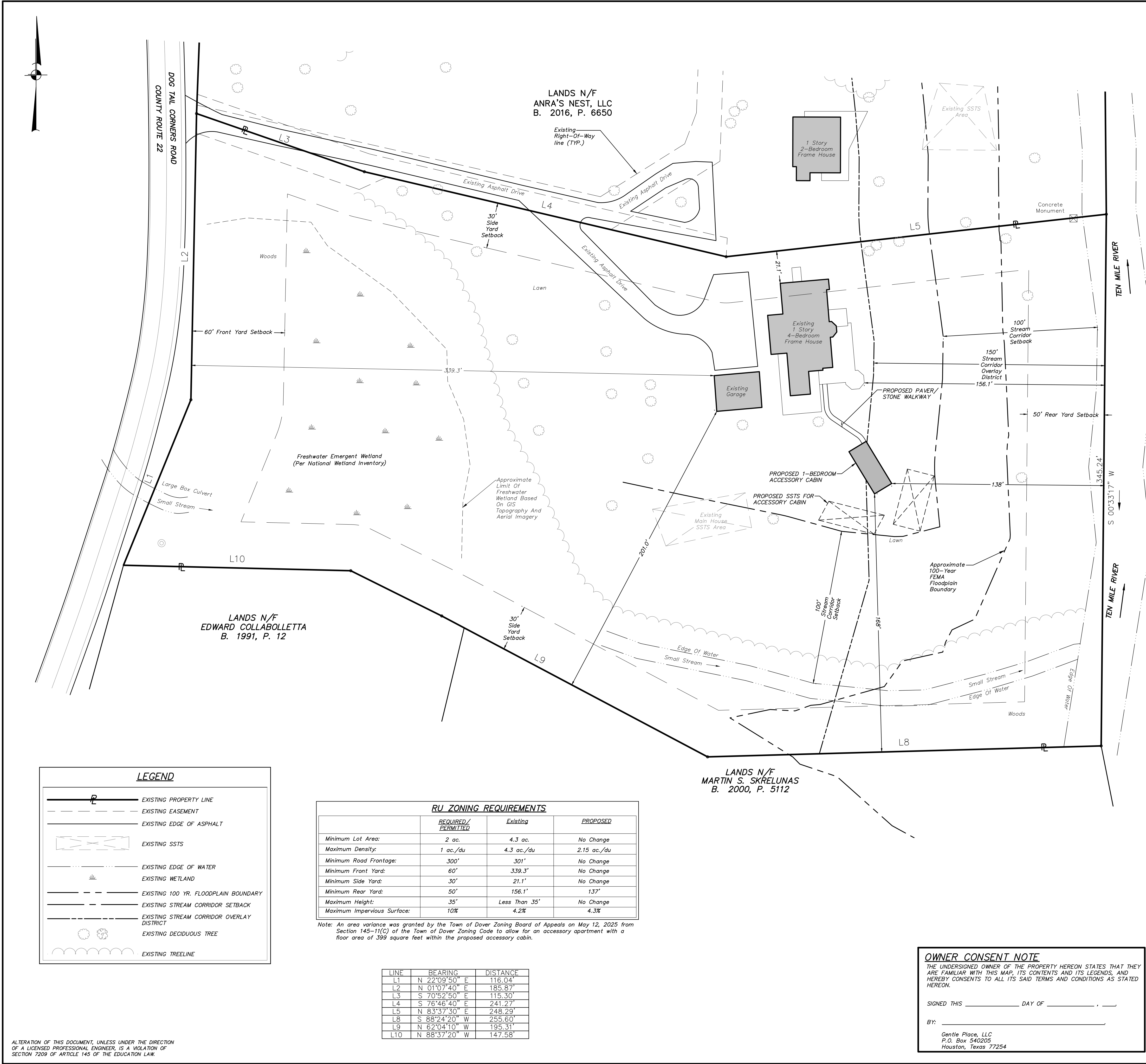
INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By: 
John M. Watson, P.E.
Senior Principal Engineer

JMW/ejp
Enclosure(s)

cc: Kaitlyn Karcheski, via email
Insite File No. 24229.100

Z:\16\24229\00 Gentle Place, LLC 199 AR Home Pro-Sub, Dover\01 DP-1.dwg, 3/27/2025 2:06:32 PM, regeneration, 11



LOCATION MAP SCALE: 1" = 1000'

LANDS N/F
NONNO'S GARDEN, LLC
B. 2016, P. 1969

OWNER/APPLICANT:

Gentle Place, LLC
PO Box 540205
Houston, Texas 77254

SITE DATA:

Zone: RU
Total Acreage 4.3 AC
Tax Map No.: 132600-00-927735

GENERAL NOTES:

- Property lines and existing conditions shown hereon are obtained from prepared by Frederick J. Haley, PLS LLC, dated March 24, 2023.
- Proposed features shown hereon are labeled as such; all else existing.
- The intent of this plan is to seek Dutchess County Department of Behavioral and Community Health (DCBCH) approval for the existing water wells and proposed subsurface sewage disposal system to serve the proposed one-bedroom cabin. Any increase in the number of bedrooms shall require the submission of plans by a New York State Professional Engineer or Architect for DCBCH review and approval of sewage disposal and water supply facilities.
- The proposed sewage disposal system absorption field shall be field staked by a New York State Licensed Land Surveyor prior to construction.
- 100-year floodplain boundary shown hereon obtained from FEMA GIS mapping and is approximate.
- The depth to bedrock is greater than 7' in the project area based on test hole observations.
- The depth to ground water is greater than 7' in the project area based on test hole observations.
- As the projects site is located within the Town of Dover Stream Corridor Overlay District, any future development is subject to provisions/restrictions found at Section 145-14 of the Town of Dover Zoning Code.
- As The project site is located within the Town of Dover Aquifer Overlay District, specifically the Principal Aquifer Zone (PAZ), any future development is subject to provisions/restrictions found at Section 145-15 of the Town of Dover Zoning Code.

- Dutchess County Department of Health Notes:**
- Standard Notes for Projects with Onsite Water and Sewage Disposal (No Public Water Supply)**
- The design, construction and installation shall be in accordance with this plan and generally accepted standards in effect at the time of construction which include:
 - New York State Design Standards for Intermediate Sized Wastewater Treatment Systems", NYSDEC
 - "Appendix 75-A, Waste Treatment - Individual Household Systems, New York State Sanitary Code."
 - "Recommended Standards for Sewage Treatment Works, (Ten States)."
 - "New York State Department of Health and Dutchess County Environmental Health Services Division policies, procedures and standards."
 - "Dutchess County and New York State Sanitary Codes."
 - "Dutchess County Environmental Health Services Division Certificate of Approval letter."
 - This plan is approved as meeting the appropriate and applied technical standards, guidelines, policies and procedures for arrangement of sewage disposal and treatment and water supply facilities.
 - Upon completion of the facilities, the finished works shall be inspected, tested, and certified complete to the DC EHSD by the New York State registered design professional supervising construction. No part of the facilities shall be placed into service until accepted by the DC EHSD.
 - Approval of any plan(s) or amendment thereto shall be valid for a period of 5 years from the date of approval. Following the expiration of said approval, the plan(s) shall be re-submitted to the Commissioner of Health for consideration for re-approval. Re-submission or revised submission of plans and/or associated documents shall be subject to compliance with the technical standards, guidelines, policies and procedures in effect at the time of the re-submission.
 - All wells and onsite wastewater treatment system existing or approved within 300 feet of the proposed wells and onsite wastewater treatment system are shown on this plan along with any other environmental hazards in the area that may affect the design and functional ability of the onsite wastewater treatment system and well.
 - It shall be demonstrated by the contractor to the DC EHSD field inspector and/or design professional that the tank is sealed, watertight and acceptable for use. This shall require, at a minimum, the filling of the tank with water to observe if it is in fact sealed, watertight and acceptable for use. The tank must also meet any local testing requirements, including possible electrical and safety standards.
 - All proposed wells and service lines on this plan are accessible for installation and placement.
 - No cellar, footing, floor, garage, cooler or roof drains shall be discharged into the onsite wastewater treatment system or within 50 feet of any well.
 - All buildings shall be constructed at an elevation high enough to ensure gravity flow to the onsite wastewater treatment system.
 - There shall be no vehicular traffic over the onsite wastewater treatment system. Prior to construction, the area of the system shall be staked out and fenced off.
 - Onsite wastewater treatment systems shall not be installed in wet or frozen soil.
 - The DC EHSD shall be notified prior to the backfilling of any completed onsite wastewater treatment system so that a final inspection may be performed.
 - The DC EHSD shall be notified sixty days prior to any change in use; use changes may require re-approval by the DC EHSD.
 - All required Erosion & Sediment Control and Stormwater Pollution Prevention Water Quality & Quantity Control structures, permanent and temporary, are shown on the plans.

1	5-28-25	REVISED FOR PLANNING BOARD COMMENTS	R.A.R.
NO.	DATE	REVISION	BY

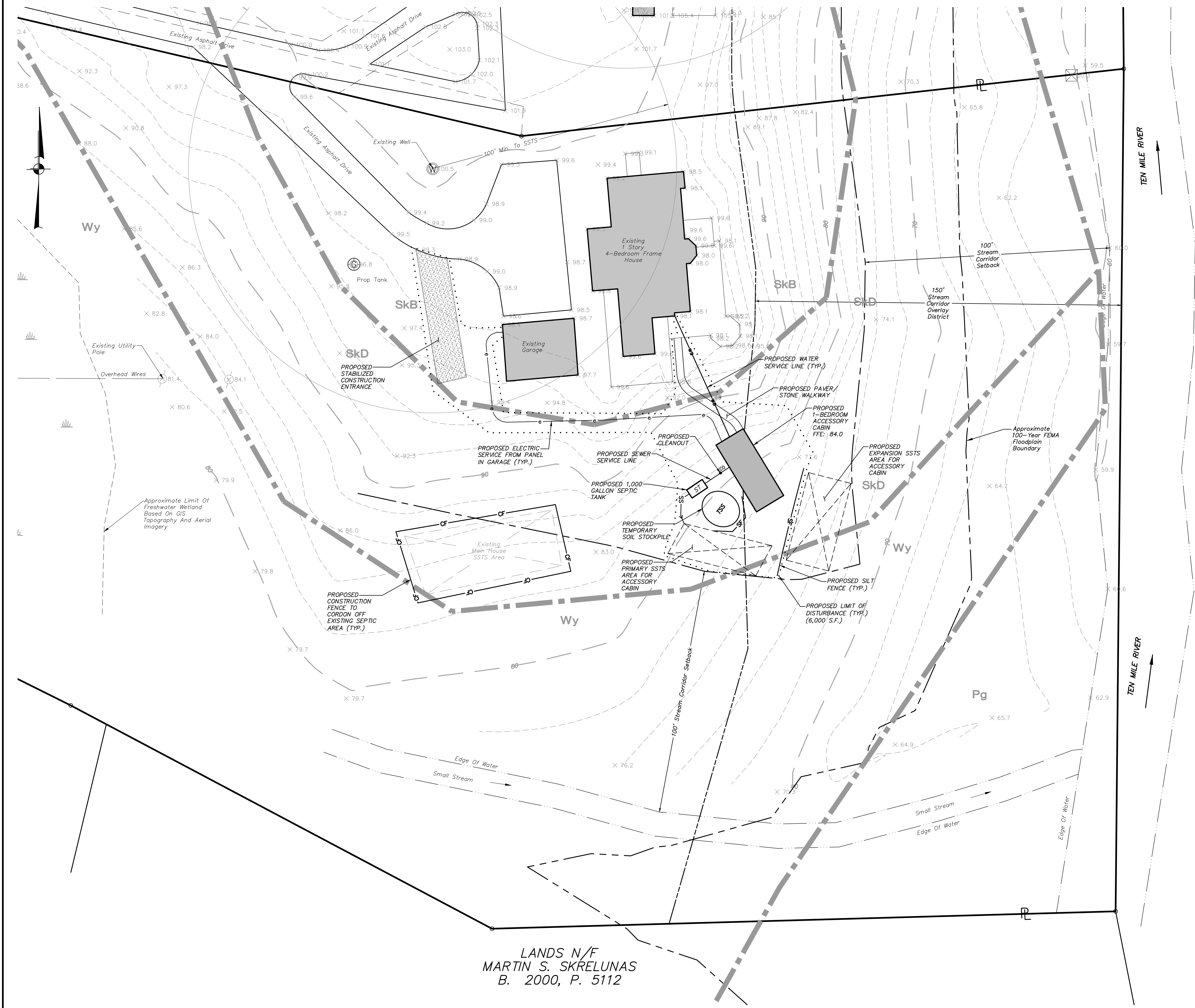
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ENGINEERING, SURVEYING &
LANDSCAPE ARCHITECTURE, P.C.

3 Garrett Place
Carmel, NY 10512
(845) 225-9690
(845) 225-9717 fax
www.insite-eng.com

PROJECT: 198 ARHOME
PROPOSED ACCESSORY STRUCTURE
198 DOG TAIL CORNERS ROAD, TOWN OF DOVER, DUTCHESS COUNTY NEW YORK

DRAWING: OVERALL PLAN

PROJECT NUMBER	24229.100	PROJECT MANAGER	J.M.W.	DRAWING NO.	SHEET
DATE	2-12-25	DRAWN BY	C.M.S.	OP-1	1/3
SCALE	1" = 30'	CHECKED BY	E.J.P.		



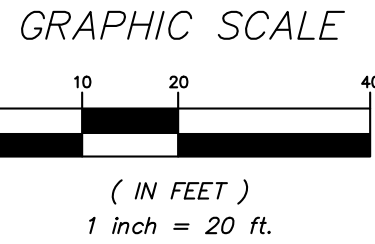
LEGEND

- EXISTING PROPERTY LINE
- EXISTING EASEMENT
- EXISTING EDGE OF WATER
- EXISTING WETLAND
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- EXISTING 100 YR. FLOODPLAIN BOUNDARY
- EXISTING STREAM CORRIDOR SETBACK
- EXISTING STREAM CORRIDOR OVERLAY DISTRICT
- PROPOSED SEWER SERVICE
- PROPOSED ELECTRIC SERVICE LINE
- PROPOSED DOMESTIC WATER SERVICE LINE
- PROPOSED CLEAN OUT
- PROPOSED SILT FENCE
- PROPOSED CONSTRUCTION FENCE
- PROPOSED LIMITS OF DISTURBANCE
- PROPOSED TEMPORARY SOIL STOCKPILE
- PROPOSED STABILIZED CONSTRUCTION ENTRANCE

SOILS LEGEND		
SOILS	DESCRIPTION	HYDROLOGICAL GROUP
CuD	Copake gravelly silt loam, hilly, 15% to 30% slopes	B
Pg	Pawling silt loam	B
SkB	Stockbridge silt loam, 3% to 8% slopes	C
SkD	Stockbridge silt loam, 15% to 25% slopes	C
SkE	Stockbridge silt loam, 25% to 45% slopes	C
Wy	Wayland silt loam	C,D
NRCS Soil Boundary Line		

- CONSTRUCTION SEQUENCE:**
1. Install stabilized construction entrance/anti-tracking pad at edge of existing driveway.
 2. Install silt fence in general locations indicated on the plan.
 3. Strip and stockpile topsoil on site for later use in lawn and landscape areas.
 4. Begin excavation for foundation and site preparation for modular cabin.
 5. Begin construction of septic holding tank and utility installation.
 6. Topsoil, seed, and mulch all disturbed areas as soon as practical in accordance with the Erosion and Sediment Control Notes contained on this page.

LANDS N/F
MARTIN S. SKRELUNAS
B. 2000, P. 5112



1	5-28-25	REVISED FOR PLANNING BOARD COMMENTS	R.A.R.
NO.	DATE	REVISION	BY

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3 Garrett Place
Carmel, NY 10512
(845) 225-9690
(845) 225-9717 fax
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PROJECT: **198 ARHOME**
PROPOSED ACCESSORY STRUCTURE
198 DOG TAIL CORNERS ROAD, TOWN OF DOVER, DUTCHESS COUNTY NEW YORK

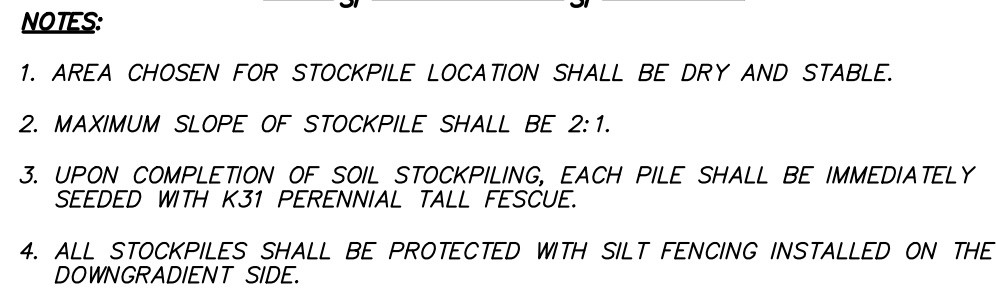
DRAWING: **SITE PLAN**

PROJECT NUMBER	24229.100	PROJECT MANAGER	J.M.W.	DRAWING NO.	SHEET
DATE	2-12-25	DRAWN BY	C.M.S.	SP-1	2 / 3
SCALE	1" = 20'	CHECKED BY	E.J.P.		

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

1. The owner's field representative (O.F.R.) will be responsible for the implementation and maintenance of erosion and sediment control measures on this site prior to and during construction.
2. All construction activities involving the removal or disposition of soil are to be provided with appropriate protective measures to minimize erosion and contain sediment disposition within. Uniform erosion and sediment control measures shall be implemented as shown on the plans and shall be installed in accordance with "New York Standards and Specifications For Erosion and Sediment Control," latest edition.
3. Wherever feasible, natural vegetation should be retained and protected. Disturbance shall be minimized in the areas required to perform construction. No more than 5 acres of unprotected soil shall be exposed at any one time.
4. When land is exposed during development, the exposure shall be kept to the shortest practical period of time. In the areas where soil disturbance activity has temporarily or permanently ceased, the application of soil stabilization measures must be initiated by the end of the next business day and completed within fourteen (14) days from the date the current soil disturbance activity ceased. Disturbance shall be minimized to the areas required to perform construction.
5. Silt fence shall be installed as shown on the plans prior to beginning any clearing, grubbing or earthwork.
6. All topsoil to be stripped from the area being developed shall be stockpiled and immediately seeded for temporary stabilization. Ryegrass (annual or perennial) at a rate of 30 lbs. per acre shall be used for temporary seeding in spring, summer or early fall. "Aristook" Winter Rye (cereal rye) shall be used for temporary seeding in late fall and winter.
7. Any disturbed areas not subject to further disturbance or construction traffic, permanent or temporary, shall have soil stabilization measures initiated for permanent vegetation cover in combination with a suitable mulch within 1 business day of final grading. All seeded areas to receive a minimum 4" (topsoil from stockpile area) and be seeded and mulched as follows:
 - Seed mixture to be planted between March 21 and May 20, or between August 15 and October 15 or as directed by project representative at a rate of 100 pounds per acre in the following proportions:

Kentucky Bluegrass	20%
Creeping Red Fescue	40%
Perennial Ryegrass	20%
Annual Ryegrass	20%
 - Mulch: Salt hay or small grain straw applied at a rate of 90 lbs./1000 S.F. or 2 tons/acre, to be applied and anchored according to "New York Standards and Specification For Erosion and Sediment Control," latest edition.
8. Grass seed mix may be applied by either mechanical or hydroseeding methods. Seeding shall be performed in accordance with the current edition of the "NYSDOT Standard Specification, Construction and Materials, Section 610-3.02, Method No. 1". Hydroseeding shall be performed using materials and methods as approved by the site engineer.
9. Cut or fill slopes steeper than 2:1 shall be stabilized immediately after grading with Curbex I Single Net Erosion Control Blanket, or approved equal.
10. Paved roadways shall be kept clean at all times.
11. The site shall at all times be graded and maintained such that all stormwater runoff is diverted to soil erosion and sediment control facilities.
12. All storm drainage outlets shall be stabilized, as required, before the discharge points become operational.
13. Stormwater from disturbed areas must be passed through erosion control barriers before discharge beyond disturbed areas or discharged into other drainage systems.
14. Erosion and sediment control measures shall be inspected and maintained on a daily basis by the O.F.R. to insure that channels, temporary and permanent ditches and pipes are clear of debris, the embankments and berms have not been breached and that all straw bales and silt fences are intact. Any failure of erosion and sediment control measures shall be immediately repaired by the contractor and inspected for approval by the O.F.R. and/or site engineer.
15. Dust shall be controlled by sprinkling or other approved methods as necessary, or as directed by the O.F.R.
16. Cut and fills shall not endanger adjoining property, nor divert water onto the property of others.
17. All fills shall be placed and compacted in 6" lifts to provide stability of material and to prevent settlement.
18. The O.F.R. shall inspect downstream conditions for evidence of sedimentation on a weekly basis and after rainstorms.
19. As warranted by field conditions, special additional erosion and sediment control measures, as specified by the site engineer and/or the Town Engineer shall be installed by the contractor.
20. Erosion and sediment control measures shall remain in place until all disturbed areas are suitably stabilized.



The drawing consists of two parts: a **SECTION** view at the top and a **PLAN** view at the bottom.

SECTION View: This view shows a cross-section of the installation. It features a horizontal layer of **3 in. CLEAN STONE** above a **6" MIN.** thick layer of **COMPACTED SUBGRADE**. A **MIRAFIX 600X FILTER FABRIC OR APPROVED EQUAL** is shown separating the stone from the subgrade. The top width of the stone layer is dimensioned as **12' MIN. WIDTH**.

PLAN View: This view shows the top-down layout of the filter fabric. It is a rectangular area with rounded corners. The left side is labeled **START AT EXIST. PAVEMENT** with an arrow pointing to the start of the fabric. The bottom length is dimensioned as **50' MIN. LENGTH**.

1. STONE SIZE - USE 3" STONE
2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY)
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR. TWENTY FOUR (24) FOOT IF SINGLE ACCESS TO SITE.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE, IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF DIRT OR SEDIMENT ONTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO MOVING ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

PLAN

5" DIA. OUTLET
4'-10"

8'-6"

(3) 5" DIA. KNOCKOUT INLETS (TYP.)

PRECAST CONCRETE SEPTIC TANK
AS MANUFACTURED BY PRECAST
CONCRETE SALES

6"x9" COVER
4" DIA. OUTLET PIPE
1 1/2" MIN. SLOPE

20"x8" COVER

0'-6" MIN. TO 1'-0" MAX. SOIL COVER
(MANHOLE TO GRADE REQUIRED IF
OVER 1'-0" OF SOIL COVER)

10"x14" COVER
FINISHED GRADE

SECTION

5'-5"

4'-0"

1'-8 1/2"

1'-3"

10"

LIQUID LEVEL

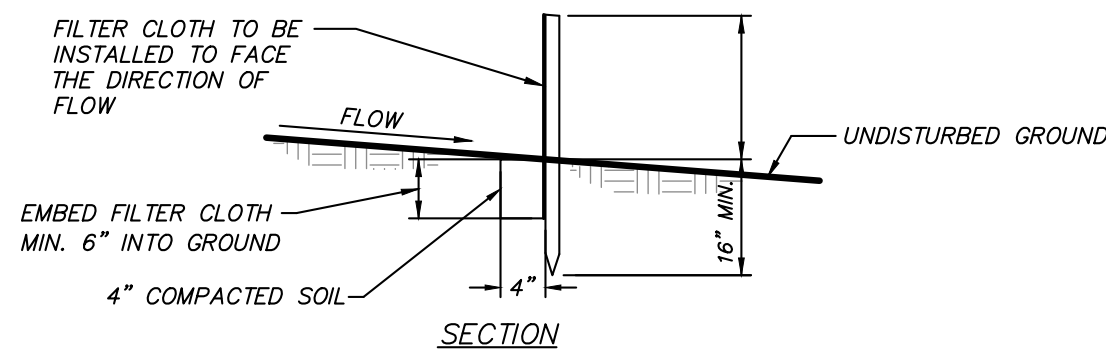
4" DIA. INLET PIPE
2% MIN. SLOPE

MINIMUM 3" THICK LAYER
OF SAND OR PEA GRAVEL

Diagram illustrating the cross-section of a water service line installation, showing the layers and components:

- TOPSOIL (4" MIN.), SEED & MULCH OR WHEN IN PAVEMENT SEE PAVEMENT DETAIL
- FINISHED GRADE
- MAGNETIC UNDERGROUND MARKING TAPE, LABEL FOR APPROPRIATE UTILITY.
- SUITABLE BACKFILL FREE OF ORGANIC MATERIAL AND STONES > 4". COMPACT IN 6" LIFTS TO 90% MAXIMUM DRY DENSITY.
- 8" (TYP.)
- 5'-0" MIN. COVER
- 6" MIN.
- 4" MIN.
- COMPACTED RUN OF BANK GRAVEL OR WASHED SAND
- 1"Ø 200 PSI COPPER TUBING SIZE (CTS) POLYETHYLENE (PE) WATER SERVICE LINE
- COMPACTED SUBBASE
- 1'-0"
- 1'-0"

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION
OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF
SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.



1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAP BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X MIRAFI 100, STABILINKA 1140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

1'-8 1/2"

1'-3 1/2"

PROVIDE A 90° ELBOW ON INLET PIPE

5" DIA. INLET

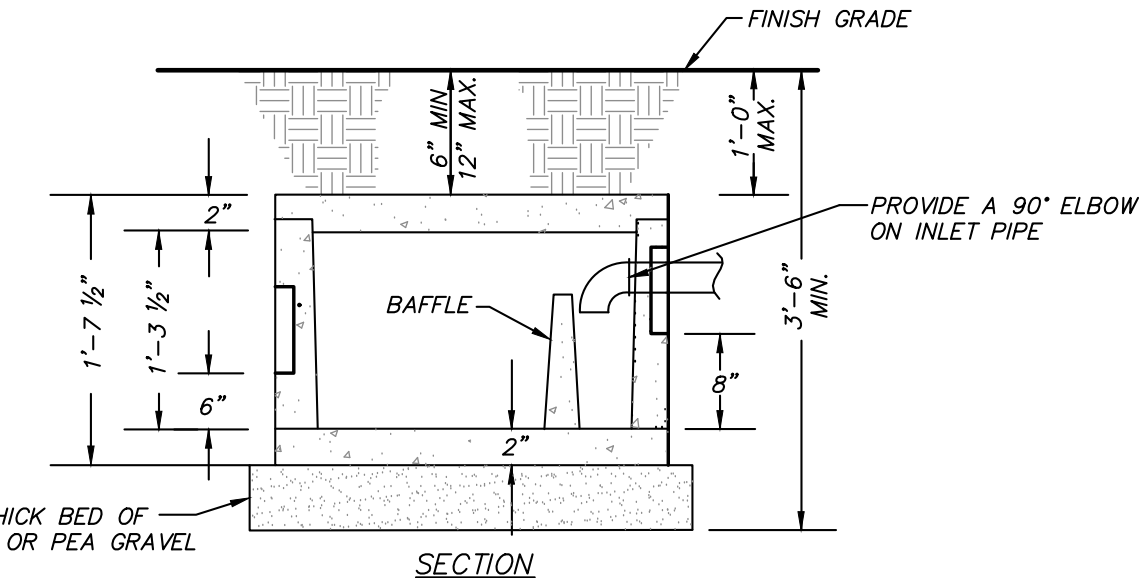
BAFFLE

PRECAST CONCRETE DISTRIBUTION BOX AS MANUFACTURED BY PRECAST CONCRETE SALES CO.

7 1/2" TYP.

(6) 5" DIA. OUTLETS

PLAN VIEW



1. PROVIDE 2" OF SOLID PIPE BEFORE START OF ABSORPTION TRENCH PERFORATED PIPES
2. THE BOTTOM OF THE BOX MUST BE LEVEL AND SUPPORTED SOLIDLY TO BELOW THE FROST LINE. THE FOOTING IS TO EXTEND TO 36" BELOW THE GROUND LEVEL.
3. PROVIDE 2" MINIMUM SEPARATION BETWEEN INLET & OUTLET INVERTS.
4. DISTRIBUTION BOX TO BE LAID LEVEL AND EQUIPPED WITH SPEED LEVELERS
5. ANY UNUSED OUTLETS SHALL BE PLUGGED.
6. PROVIDE 2" MINIMUM SEPARATION FROM OUTLET INVERT TO FLOOR OF DISTRIBUTION BOX

Technical drawing illustrating a stormwater catchment system, showing a cross-section and a plan view.

Cross-section details:

- Overall width: 2'-0"
- Overflow: 4" FOR SETTLEMENT
- Geotextile: "TYPAR 3201" GEOTEXTILE
- Earth Backfill: (NO STONES > 6")
- Pipe: 4" DIA. PERFORATED P.V.C. PIPE
- Pipe Spacing: 6" MIN.
- Gravel Layer: 3/4" TO 1-1/2" CLEAN CRUSHED STONE OR WASHED GRAVEL
- Basin Depth: 1' - 6" MIN. (2' - 6" MAX.)
- Basin Width: 2'-0"

Plan view details:

- Spacing between pipes: 2' MIN.

NOTES: 1. PROVIDE 2' OF SOLID PIPE AT THE BEGINNING OF EVERY TRENCH.
2. PROVIDE END CAPS AT THE END OF EACH ABSORPTION TRENCH.
3. THE SLOPE OF THE PERFORATED PIPES SHALL BE BETWEEN A MINIMUM OF 1/32"/FT AND A MAXIMUM OF 1/16"/FT, UNLESS THE TRENCHES ARE DOSED BY PUMPING OR BY DOING TANK DOSES TO THE PIPES SHALL BE LEVEL.
4. A MINIMUM FIVE (5) FOOT SEPARATION DISTANCE MUST BE PROVIDED BETWEEN THE BOTTOM OF THE ABSORPTION TRENCH AND THE PRESENCE OF SEASONAL HIGH GROUND WATER AND/OR LEDGE ROCK.

Diagram illustrating a vertical riser assembly for a 4" PVC pipe. The assembly includes a 4" ϕ PVC THREADED CAP at the top, a 4" ϕ PVC SDR 35 vertical riser pipe, a 45° ELBOW, and a 4" ϕ 45° WYE BRANCH. The riser pipe is shown with a minimum height of 6" above the ground level. The wye branch connects to a horizontal 4" ϕ PVC SDR 35 pipe, with flow direction indicated by an arrow labeled "FLOW".

1'-6"

VALVE BOX COVER WITH "SEWER" STAMPED ON COVER SET TOP OF COVER FLUSH WITH FINISH GRADE—PROVIDE 1'-6" ROUND CONCRETE ENCASMENT AROUND COVER

FINAL GRADE (SEE PLAN FOR FINISH)

4" DIA. PVC THREADED CAP

4" DIA. PVC SDR 35

45° BEND

4" DIA. WYE BRANCH

4" DIA. PVC SDR 35

4" DIA. PVC SDR 35

FLOW

6" MIN.

Diagram illustrating the cross-section of a trench for a sewer service line, showing the following layers and specifications:

- TOPSOIL (4" MIN.), SEED & MULCH. WHEN IN PAVEMENT; SEE PAVEMENT DETAIL.**
- FINISHED GRADE**
- TRENCH DEPTH VARIES (2'-0" MIN.)**
- SUITABLE BACKFILL FREE OF ORGANIC MATERIAL, STONES GREATER THAN 4", COMPACT IN 6" LIFTS TO 95% UNDER PAVEMENT MAXIMUM DRY DENSITY.**
- 4" Ø PVC SDR 35 SEWER SERVICE LINE**
- R.O.B. GRAVEL, COMPACT IN 6" LIFTS TO 95% UNDER PAVEMENT MAXIMUM DRY DENSITY, OR 1/2" CRUSHED STONE / WASHED GRAVEL**
- COMPACTED SUBBASE**
- 4" MIN.** (Trench width)
- 4" MIN.** (Trench radius)
- 1'-0"** (Trench length)

1	5-28-25	REVISED FOR PLANNING BOARD COMMENTS	R.A.R.
NO.	DATE	REVISION	BY



PROJECT NUMBER	24229.100	PROJECT MANAGER	J.M.W.	DRAWING NO. <i>D-1</i>	SHEET <i>3</i> <i>3</i>
DATE	2-12-25	DRAWN BY	C.M.S.		
SCALE	1' = 20'	CHECKED BY	E.J.P.		

Town of Dover Zoning Board of Appeals

Town of Dover
126 East Duncan Hill Road
Dover Plains, NY 12522



(845) 832-6111
(845) 832-3188 fax

RESOLUTION GRANTING AN AREA VARIANCE FROM SECTION 145-11 (C) OF THE TOWN OF DOVER ZONING CODE TO ALLOW FOR AN ACCESSORY APARTMENT WITH ONLY 399 SQUARE FEET OF FLOOR AREA WHERE 500 SQUARE FEET OF FLOOR AREA IS REQUIRED

WHEREAS, the Owner, Gentle Place LLC (the "Owner"), is the owner of real property located at 198 Dog Tail Corners Road, Wingdale, New York 12594, also identified as Tax Map Parcel #7160-00-927735 (the "Premises"), which is in the RU Zoning District; and

WHEREAS, the Owner proposes constructing a one-bedroom accessory apartment within an accessory structure (pre-fabricated cabin) on the Premises, along with a new onsite sub-surface sewage treatment system and utility connections to the existing infrastructure; and

WHEREAS, on March 21, 2025, the Dover Building Inspector determined that the structure in question was not a dwelling unit, as defined in the Town Code, but that as an accessory structure, it would need to be 500 square feet, or the Owner would need to request an area variance from the Dover Zoning Board of Appeals (the "ZBA"); and

WHEREAS, the Owner has made an application to the ZBA for an area variance for floor area of an accessory apartment; and

WHEREAS, § 145-11(c) of the Dover Town Code requires a minimum floor area of 500 square feet for an accessory apartment, whereas the proposed accessory apartment has 399 square feet of floor area: **the variance requested is for 101.00 square feet**; and

WHEREAS, a public hearing was held at the Dover Town Hall, 126 East Duncan Hill Road, Dover Plains, New York 12522, on May 12, 2025, to consider the application; and

WHEREAS, the ZBA has considered the facts presented in the application and at the public hearing and finds that:

(1) The proposed application **will not** produce an undesirable change in the character of the neighborhood because it is a good location for the cabin, viewsheds are protected due to its location, and the variance allows for the accessory apartment to be even smaller than what the code requires, lessening any potential undesirable change in the character of the neighborhood.

(2) The benefit sought by the applicant **cannot** be achieved by any other feasible means because of the topography of the land without drastic changes in the existing landscape.

(3) The variance requested **is not** substantial because it is a request for only a 101 square feet variance, which the ZBA views as non-substantial.

(4) The proposed variance **will not** have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district because: the property is four acres, is heavily wooded, and has ample space for this accessory apartment: thus, the neighborhood will not be adversely affected by the proposed accessory apartment.

(5) The alleged difficulty necessitating the variance **was** self-created, **but it is not** sufficient to cause a denial of the requested variance.

NOW, THEREFORE, BE IT RESOLVED, that the Dover Zoning Board of Appeals hereby **grants** the application of Gentle Place LLC for an area variance allowing the proposed accessory structure to be only 399 square feet.

Date: May 12, 2025

Moved By: Member Tchorzyk

Seconded By: Member Yager

Resolution Approved:

Debra Kaufman	<u>aye</u>
Joseph Tchorzyk	<u>aye</u>
Jacob Troupe	<u>aye</u>
Joanne Yager	<u>aye</u>



Zoning Board of Appeals Chair Debra Kaufman



Town of Dover, New York
Donn P Andersen, Building Inspector

*126 East Duncan Hill Road
Dover Plains, New York 12522
Phone (845) 832-6111 x103
Fax (845) 832-3188*

March 21, 2025

Parcel 132600_7160_00_927735
198 Dog Tail Corners Road
RE: Special Permit for Accessory Dwelling

Town of Dover Planning Board:

It is understood that the applicant owner, Gentle Place LLC, is applying for a special permit for a detached accessory apartment that is 416 sq. ft in size.

As per Town Code 145-11(c), The minimum square footage for an accessory apartment is 500 square feet and shall be required of the applicant.

Furthermore, by Town Code definition, a Dwelling Unit is required to be a minimum of 800 square feet and provide for complete housekeeping services. It is our interpretation that the proposed buildings are accessory to a primary use residence and are not subject to the definition of a dwelling unit. Although there is no stated requirement for a kitchen or kitchenette in an accessory apartment it is within the owners right to install one or not.

To further clarify our interpretation of a dwelling unit, we believe the intent of this definition is to require owners to have a minimum sized primary residence on a parcel. In the spirit of the code the dwelling unit requirement shall not be a consideration for this application, but the accessory apartment must meet the minimum square footage of 500 or obtain an area variance from the Zoning Board of Appeals.

All Planning Board approvals and resolution requirements must be completed before the Building Department can consider any Building Permit Applications.

Sincerely yours,

Donn P Andersen
Town of Dover
Building Inspector



February 12, 2025

Ryan Courtien
Planning Board Chair
Town of Dover
126 East Duncan Hill Road
Dover Plains, NY 12522

RECEIVED

By Marilyn Van Millon at 11:04 am, Feb 12, 2025

RE: 198 AR Home
Special Use and Erosion and Sediment Control Permit
198 Dog Tail Corners Road
Town of Dover
Tax ID # 7160-00-927735

Dear Chairman Courtien:

Enclosed please find twelve (12) copies of the following documents in support of a Special Use Permit and Erosion and Sediment Control Permit Application:

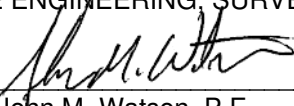
- Site Plan Drawing Set (3 Sheet Total) dated February 12, 2025. (4 Full Size, 8 11" x 17")
- Land Use Application (Special Use Permit with Erosion and Sediment Control Permit) dated January 28, 2025.
- Special Permit Submission Checklist.
- Applicant's Letter of Intent, dated February, 12, 2025.
- Letter of Agent, dated January 28, 2025
- Agricultural Data Sheet dated January 28, 2025.
- Figure 1 Tax Map with 500' Buffer dated February 12, 2025.
- Short Environmental Assessment Form (EAF) dated February 12, 2025.
- Architectural Cabin Plans (3 Total Sheets), prepared by Leckie Studio Architecture + Design Inc., dated January 10, 2025. (4 Full Size, 8 11" x 17")
- One (1) Flash Drive with a digital copy of the Full Application.
- Erosion Control Escrow Fee Check \$1,500.
- Erosion Control Permit Application Fee \$150.
- Special Use Permit Escrow Fee Check \$1,500.
- Special Use Permit Application Fee \$525 (Proposed 416sf Accessory Building).

The subject project site is currently developed as a single family residence with associated appurtenances. The applicant proposes to construct a 1-bedroom prefabricated cabin as an accessory structure to the principal dwelling on the project site along with a new onsite subsurface sewage treatment system and utility connections to the existing infrastructure. We kindly requests the application be placed on your March 3, 2025 Planning Board agenda for review and discussion. Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:


John M. Watson, P.E.
Senior Principal Engineer

JMW/ejp
Enclosure(s)

cc: Kaitlyn Karcheski, via email
Insite File No. 24229.100

Town of Dover
126 East Duncan Hill Road
Dover Plains, NY 12522



(845) 832-6111 Ext 100

LAND USE APPLICATION

Type of Application: Check all that apply

☐ Site Plan ☒ Special Use Permit ☒ with Erosion and Sediment Control Permit

Grid Number(s):

132600-7160-00-927735-0000

Name of Project: 198 AR Home

Property Address:

198 Dog Tail Corners Road

Wingdale, NY 12594

Primary Contact Person:

Kaitlyn Karcheski

Address: 36 Herrick Road

Sharon, CT 06069

Telephone: 475-260-0628

Email: kaitlyn@weareallstardust.com

Name of Property Owner:

Gentle Place LLC

Address: PO Box 540205

Houston, TX 77254

Telephone Number:

475-260-0628

Name of Applicant (if different)

Kaitlyn Karcheski

Address: 36 Herrick Road

Sharon, CT 06069

Telephone Number: 475-260-0628

Email: kaitlyn@weareallstardust.com

Relationship of Applicant to Owner

(e.g contract, vendee, option holder, lessee):

Owners Representative

Plans Prepared by:

Name: Insite Engineering, Surveying &

Address: Landscape Architecture, P.C.

3 Garrett Place, Carmel, NY 10512

Telephone Number: 845-225-9690

Email: jwatson@insite-eng.com

Zoning District: RU~~X~~, RC__, HM__, HR__, SR__, HC__,

CO__, M__

Overlay District (if any): Floodplain~~X~~, Stream Corridor~~X~~,

Aquifer__, Soil Mining__

Current Use(s): Single Family Residential

Proposed Use(s): Single Family Residential with accessory structure

Parcel Size: 4.3 acres

Type of Activity: New Structure ~~X~~, Alteration of existing
structure ____, Expansion or use of structure __

Change of use in existing structure: No

Total square footage of structures: (Proposed Cabin Only)

Current 0 SF Proposed 416 SF

Footprint of Structures: (Proposed Cabin Only)

Current 0 SF Proposed 416 SF

Date of Discussion Meeting: _____

Date Stamp: to be filled in by Planning Department



Town of Dover
126 East Duncan Hill Road
Dover Plains, NY 12522

Town of Dover Planning Board



(845) 832-6111 Ext 100

Does the project parcel cover applicant's entire holding?

☒ Yes ☐ No

Deed Reference: Liber _____
Page _____

Does the property contain a farm operation located within an agricultural district or is the property boundary within 500 feet of a farm operation located in an agricultural district:

☒ Yes ☐ No

If yes, submit an Agricultural Data Statement, available from the Planning Office

Will the development be phased? ☐ Yes ☒ No

Is there an existing Special Permit and/or Site Plan approval for the Property?

☐ Yes ☒ No

The undersigned hereby makes application in accordance withal applicable laws and other requirements of the Town of Dover, Dutchess County, New York. All owners of record must sign.

Signature of Record Owner

Signature of Record Owner

Date: 1/28/2025

Date: _____

Signature of Applicant (if different)

Date: 1/28/25

Town of Dover
126 East Duncan Hill Road
Dover Plains, NY 12522

Town of Dover Planning Board



(845) 832-6111 Ext 100

AGRICULTURAL DATA STATEMENT

1. Name and address of the applicant

Gentle Place LLC

PO Box 540205

Houston, TX 77254

2. Applicant's telephone numbers

475-260-0628

3. Type of application: [] Subdivision [X] Special Permit [] Site Plan [X] Erosion Control

4. Description of proposed project:

The applicant proposes to construct a pre-fabricated cabin on the project site
along with new onsite sewage treatment system, water service connection to
existing residence, and new electric service line to cabin.

Proposed cabin will be an accessory structure to the existing principal dwelling

5. Location of the project:

198 Dog Tail Corners Road, Wingdale, NY 12594

6. Names and addresses of owners of land which contains farm operations and which is located within an Agricultural District and within five hundred (500) feet of the boundary line of the property upon which the project is proposed (use addition sheer if more space is needed):

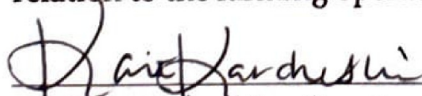
(a) Nonno's Garden LLC
Tax Map 132600-7260-00-123587
132 Old Forge Road

(b) _____

(c) Nonno's Garden LLC
Tax Map 132600-7260-00-062777
Old Forge Road

(d) _____

7. Applicant must attach a tax map or other map showing the site of the proposed project in relation to the farming operations described in item 6 above.


Signature of Applicant

1/20/25
Date

Town of Dover
126 East Duncan Hill Road
Dover Plains, NY 12522



Town of Dover Planning Board

(845) 832-6111 Ext 100

APPLICANT'S LETTER OF INTENT

TO: TOWN OF DOVER PLANNING BOARD

APPLICANT: Kaitlyn Karcheski

DATE: 2-12-2025

GRID NUMBER: 132600-7160-00-927735

INTENT: Provide a brief narrative of your plans for the site. Please include the existing conditions of the site (examples include possible wetlands, steep slopes and environmental constraints. Include known past uses of the site such as a mining operation, junkyard, dump site, etc...).

The project site is currently developed as a single family residence with driveway and
and associated utilities for electric, gas, water supply and wastewater disposal. The site is
bordered by the Ten Mile River to the east and contains steep slopes east of the existing residence.
Ground cover across the pervious areas of the site consist mainly of lawn with wooded areas
along the south and eastern portions of the site. There is a Federally regulated wetland in the
western portion of the site and a stream along the southern property line which connects the
wetland to the Ten Mile River to the east.

The applicant proposes to construct a pre-fabricated 1-bedroom cabin as an accessory structure
to the existing principal dwelling on the project site along with new onsite sewage treatment system,
water service connection to existing residence, and new electric service line to cabin.

Town of Dover
126 East Duncan Hill Road
Dover Plains, NY 12522

Town of Dover Planning Board



(845) 832-6111 Ext 100

LETTER OF AGENT

I, Michael Armilio, am the owner of the property

located at 198 Dog Tail Corners Road, Dover, New York, identified as

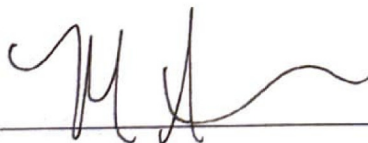
Grid Number 132600-7160-00-927735-0000.

I hereby authorize John M. Watson, PE - Insite Engineering, Surveying & Landscape Architecture, P.C.

to act as my agent in an application to the Town of Dover Planning Board.

For 198 AR Home
(Name of Project)

Print name Michael Armilio

Signature 

Date 1/28/2025

TOWN OF DOVER

SPECIAL PERMIT/SITE PLAN SUBMISSION CHECKLIST			
Applicant/Site Plan Name: Kaitlyn Karcheski / 198 AR Home			
	Yes	Inc*	NA/W**
HAVE YOU SUBMITTED:			
Any outstanding fee?	X		
A Long form EAF?	Short	EAF	
A copy of this check list?	X		
A written request for waivers to submission requirements, if needed?			N/A
DOES YOUR SITE PLAN CONTAIN:			
The words "Town of Dover, Dutchess County, New York?	X		
The date of the site plan being submitted?	X		
The name and address of the record owner?	X		
The parcel grid number?	X		
The name of the project?	X		
The name, address, signature and seal of the licensed engineer or architect?	X		
A vicinity map (1" = 2,000") showing all properties and easements within 500' of the property?	X		
Approximate true North point?	X		
A graphic scale?	X		
The location, bearings and distances of the tract boundary?	X		
The names and addresses of all adjoining property owners?	X		
The Zoning District?	X		
A Bulk Regulations table, showing the allowed dimensions and the proposed dimensions? (See 145-11)	X		
An existing map, showing existing roads, buildings, utilities and other man-made features, as well as topography and all existing natural land features (rock outcrops, single trees 8" or more in diameter, forest cover, soils, wetlands, lakes, watercourses, aquifers, floodplains and drainage retention areas)?	X		

*Incomplete Information **Not Applicable W- Waiver

TOWN OF DOVER

SPECIAL PERMIT/SITE PLAN SUBMISSION CHECKLIST			
Applicant/Site Plan Name: Kaitlyn Karcheski / 198 AR Home			
	Yes	Inc*	NA/W**
HAVE YOU SUBMITTED:			
The location and use of all existing and proposed structures within the property, including all dimensions of height and floor area, all exterior entrances and all anticipated future additions and alterations?	X		
The land use district boundaries within 200' of the site's perimeter, as well as any overlay districts?	X		
DOES THE SITE PLAN INCLUDE A TABLE CONTIANING THE FOLLOWING:			
Estimated area of structure intended to be used for particular uses such as retail, office, storage, etc...?			N/A
Estimated maximum number of employees?			N/A
Maximum seating capacity, where applicable?			N/A
Number of parking spaces existing and required for the intended use?			N/A
Plans for the disposal of construction and demolition waste, either on site or at an approved disposal facility?			N/A
THE LOCATION OF ALL PRESENT AND PROPOSED:			
Public or private ways?	X		
Off-street parking areas?	X		
Driveways?	X		
Outdoor storage areas and screening details for waste disposal containers?			N/A
Sidewalks, ramps, curbs and paths?			N/A
Landscaping, walls and fences?	X		
The lighting details including: location, height, intensity and bulb type?			N/A
The direction of illumination (a photometric plan)?			N/A
The sign details including; location, height, size, materials and design?			N/A

*Incomplete Information **Not Applicable W- Waiver

TOWN OF DOVER

SPECIAL PERMIT/SITE PLAN SUBMISSION CHECKLIST			
Applicant/Site Plan Name: Kaitlyn Karcheski / 198 AR Home			
	Yes	Inc*	NA/W**
THE LOCATION OF ALL PRESENT AND PROPOSED UTILITY SYSTEMS INCLUDING:			
Sewage or septic systems?	X		
Water supply system?	X		
Telephone, cable and electric systems?	X		
Storm drainage system including drain lines, culverts, catch basins, headwalls, hydrants, manholes and drainage swales?	X		
An Erosion and Sediment Control plan per Chapter 65, if needed?	X		
Existing and proposed topography at two-foot contour intervals?	X		
Area(s) of 100-year floodplain shown if applicable, with base flood elevations given?	X		
Areas within the proposed site, and within 50 feet of the site, where soil removal or filling is required, showing the approximate volume in cubic yards?	X		
A landscaping plan?			N/A
A planting plan?			N/A
A grading plan?	X		
TRAFFIC FLOW PATTERNS WITHIN THE SITE, INCLUDING:			
Entrance and exits?	X		
Loading and unloading areas?			N/A
Curb cut on the site, and within 100' of the site?			N/A
Detailed traffic study, if required by the Planning Board?			N/A
ELEVATION DETAILS SUCH AS:			
Elevations at a scale of 1/4" = 1 foot for all exterior facades?			
Design features, including the type and colors of materials to be used?			

*Incomplete Information **Not Applicable W- Waiver

[illegible]

4

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: 198 AR Home			
Project Location (describe, and attach a location map): 198 Dog Tail Corners Road, Wingdale, NY 12594			
Brief Description of Proposed Action: The applicant proposes to construct a pre-fabricated 1-bedroom cabin as an accessory structure to the existing principal dwelling on the project site along with new onsite sewage treatment system, water service connection to existing residence, and new electric service line to cabin.			
Name of Applicant or Sponsor: Kaitlyn Karcheski		Telephone: 475-260-0628 E-Mail: kaitlyn@weareallstardust.com	
Address: 36 Herrick Road			
City/PO: Sharon		State: CT	Zip Code: 06069
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Town of Dover Erosion Control/Special Use Permit, DCBCH Application for Approval of Plans for an OWTS.		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		4.3 acres	
b. Total acreage to be physically disturbed?		0.2 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		4.3 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input checked="" type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

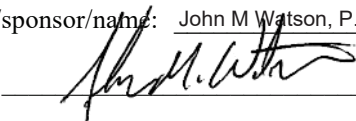
5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ New OWTS is proposed. _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

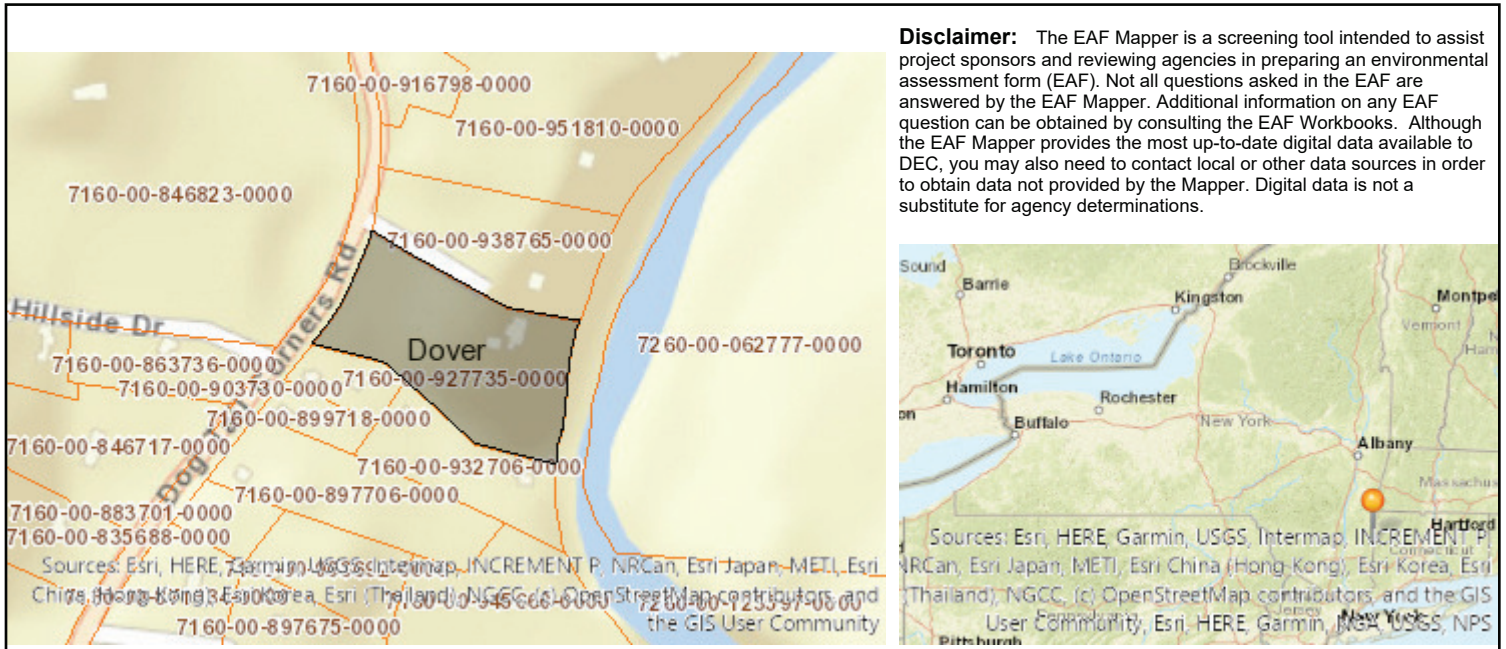
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? Indiana Bat, Bog Turtle, Ti...	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>

18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>

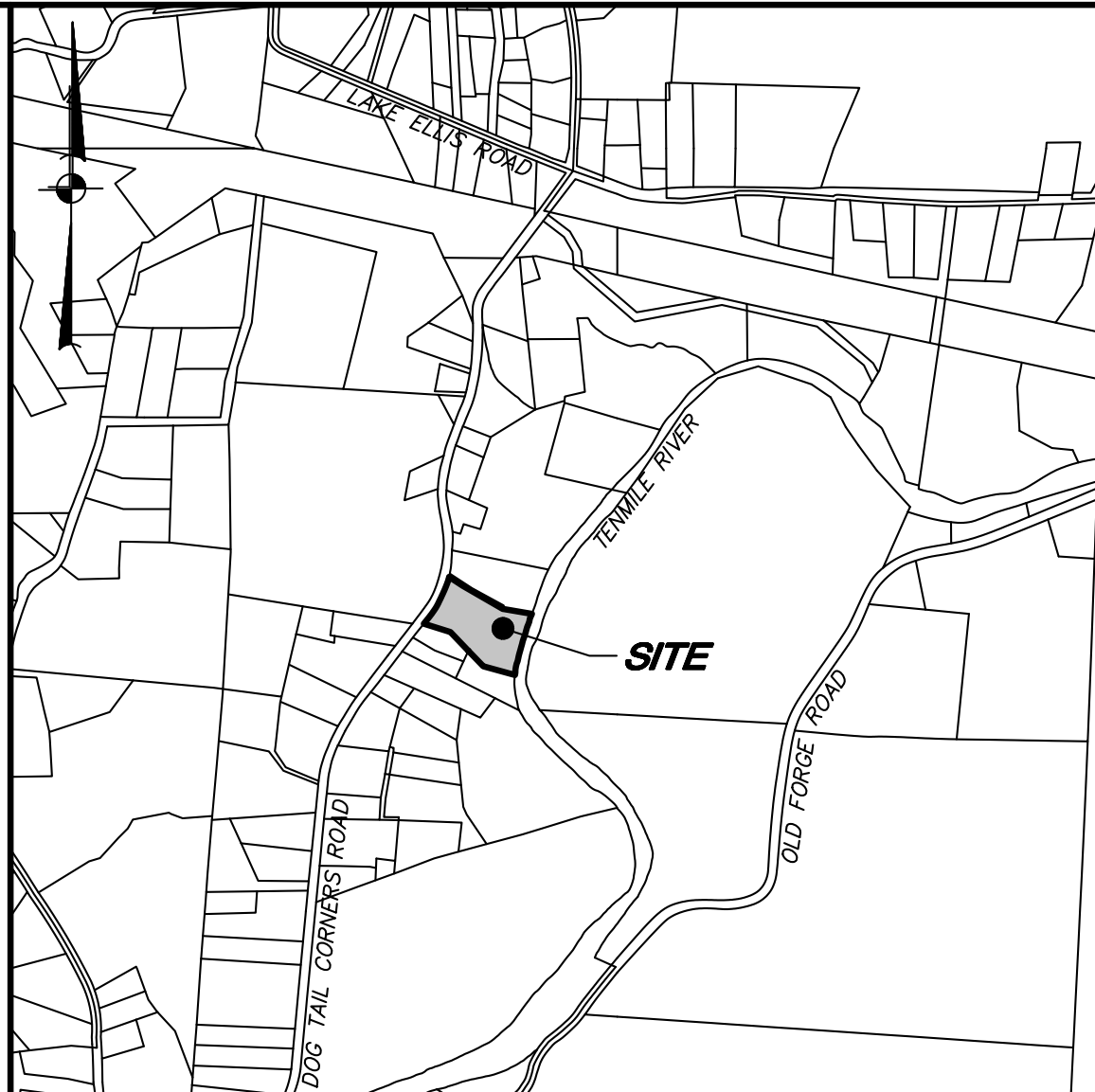
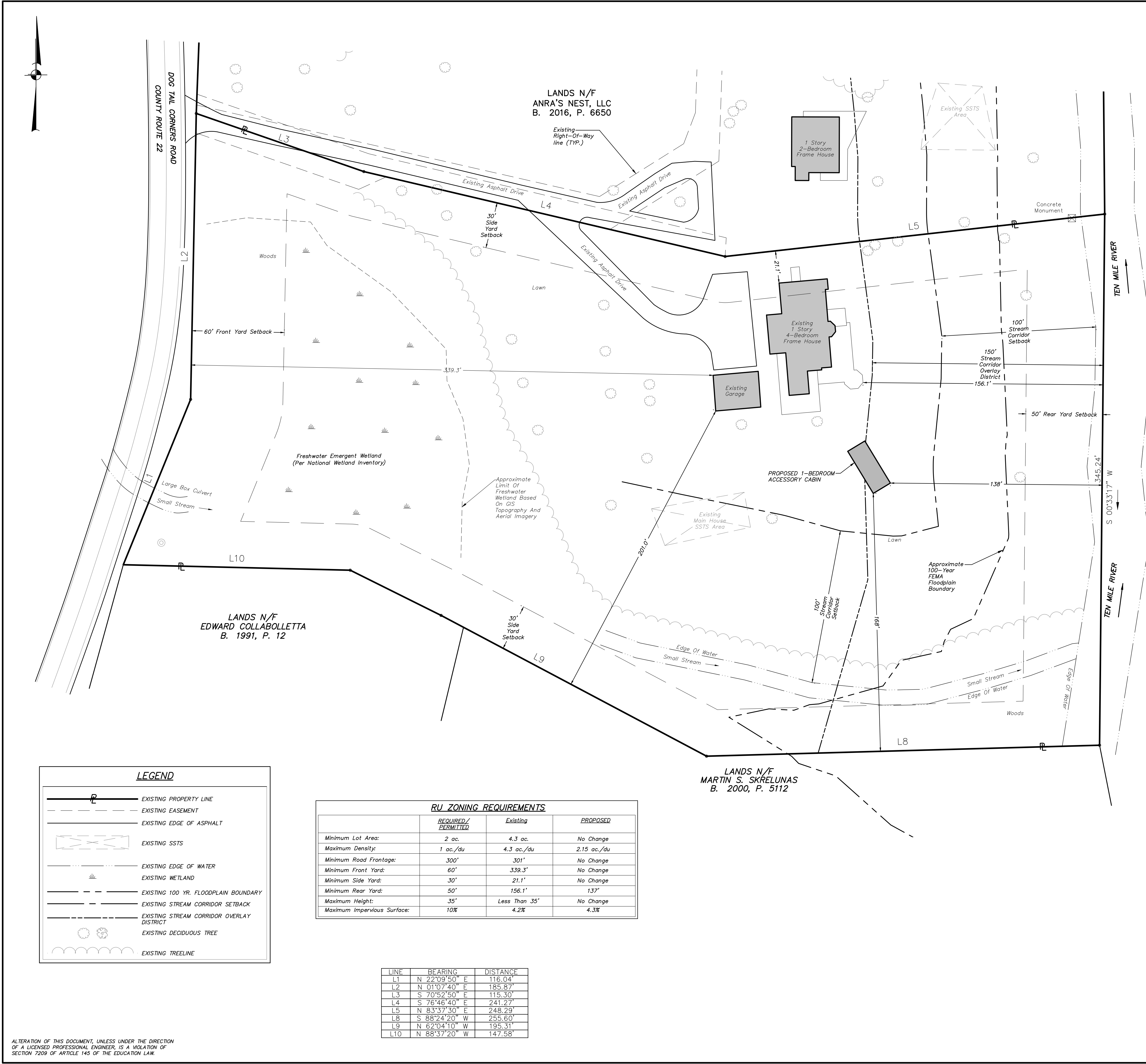
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: <u>John M Watson, P.E.</u> Date: <u>2-12-2025</u> Signature: <u></u> Title: <u>Project Engineer</u>		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Indiana Bat, Bog Turtle, Timber Rattlesnake
Part 1 / Question 16 [100 Year Flood Plain]	Yes
Part 1 / Question 20 [Remediation Site]	No



LOCATION MAP SCALE: 1" = 1000'±

OWNER/APPLICANT:
Gentle Place, LLC
PO Box 540205
Houston, Texas 77254

SITE DATA:
Zone: RU
Total Acreage 4.3 AC
Tax Map No.: 132600-7160-00-927735

- GENERAL NOTES:**
- Property lines and existing conditions shown hereon are obtained from prepared by Frederick J. Haley, PLS LLC, dated March 24, 2023.
 - Proposed features shown hereon are labeled as such; all else existing.
 - The intent of this plan is to seek Dutchess County Department of Behavioral and Community Health (DCBCH) approval for the existing water wells and proposed subsurface sewage disposal system to serve the proposed one-bedroom cabin. Any increase in the number of bedrooms shall require the submission of plans by a New York State Professional Engineer or Architect for DCBCH review and approval of sewage disposal and water supply facilities.
 - The proposed sewage disposal system absorption field shall be field staked by a New York State Licensed Land Surveyor prior to construction.
 - 100-year floodplain boundary shown hereon obtained from FEMA GIS mapping and is approximate.
 - The depth to bedrock is greater than 7' in the project area based on test hole observations.
 - The depth to ground water is greater than 7' in the project area based on test hole observations.

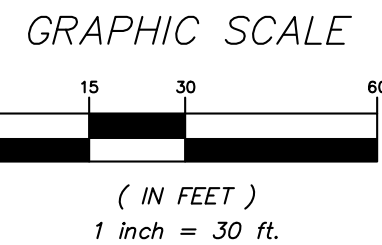
- Dutchess County Department of Health Notes:**
Standard Notes for Projects with Onsite Water and Sewage Disposal (No Public Water Supply)
- The design, construction and installation shall be in accordance with this plan and generally accepted standards in effect at the time of construction which include:
 - "New York State Design Standards for Intermediate Sized Wastewater Treatment Systems", NYSDC
 - "Appendix 75-A, Waste Treatment - Individual Household Systems, New York State Sanitary Code."
 - "Recommended Standards for Sewage Treatment Works, (Ten States)."
 - "New York State Department of Health and Dutchess County Environmental Health Services Division policies, procedures and standards."
 - "Dutchess County and New York State Sanitary Codes."
 - "Dutchess County Environmental Health Services Division Certificate of Approval letter."
 - This plan is approved as meeting the appropriate and applied technical standards, guidelines, policies and procedures for arrangement of sewage disposal and treatment and water supply facilities.
 - Upon completion of the facilities, the finished works shall be inspected, tested, and certified complete to the DC EHSB by the New York State registered design professional supervising construction. No part of the facilities shall be placed into service until accepted by the DC EHSB.
 - Approval of any plan(s) or amendment thereto shall be valid for a period of 5 years from the date of approval. Following the expiration of said approval, the plan(s) shall be re-submitted to the Commissioner of Health for consideration for re-approval. Re-submission or revised submission of plans and/or associated documents shall be subject to compliance with the technical standards, guidelines, policies and procedures in effect at the time of the re-submission.
 - All wells and onsite wastewater treatment system existing or approved within 300 feet of the proposed wells and onsite wastewater treatment system are shown on this plan along with any other environmental hazards in the area that may affect the design and functional ability of the onsite wastewater treatment system and well.
 - It shall be demonstrated by the contractor to the DC EHSB field inspector and/or design professional that the tank is sealed, watertight and acceptable for use. This shall require, at a minimum, the filling of the tank with water to observe if it is in fact sealed, watertight and acceptable for use. The tank must also meet any local testing requirements, including possible electrical and safety standards.
 - All proposed wells and service lines on this plan are accessible for installation and placement.
 - No cellar, footing, floor, garage, cooler or roof drains shall be discharged into the onsite wastewater treatment system or within 50 feet of any well.
 - All buildings shall be constructed at an elevation high enough to ensure gravity flow to the onsite wastewater treatment system.
 - There shall be no vehicular traffic over the onsite wastewater treatment system. Prior to construction, the area of the system shall be staked out and fenced off.
 - Onsite wastewater treatment systems shall not be installed in wet or frozen soil.
 - The DC EHSB shall be notified prior to the backfilling of any completed onsite wastewater treatment system so that a final inspection may be performed.
 - The DC EHSB shall be notified sixty days prior to any change in use; use changes may require re-approval by the DC EHSB.
 - All required Erosion & Sediment Control and Stormwater Pollution Prevention Water Quality & Quantity Control structures, permanent and temporary, are shown on the plans.

LEGEND	
	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING EDGE OF ASPHALT
	EXISTING SSTS
	EXISTING EDGE OF WATER
	EXISTING WETLAND
	EXISTING 100 YR. FLOODPLAIN BOUNDARY
	EXISTING STREAM CORRIDOR SETBACK
	EXISTING STREAM CORRIDOR OVERLAY DISTRICT
	EXISTING DECIDUOUS TREE
	EXISTING TREELINE

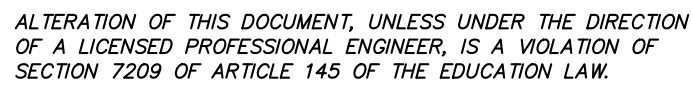
RU ZONING REQUIREMENTS			
	REQUIRED/ PERMITTED	Existing	PROPOSED
Minimum Lot Area:	2 ac.	4.3 ac.	No Change
Maximum Density:	1 ac./du	4.3 ac./du	2.15 ac./du
Minimum Road Frontage:	300'	301'	No Change
Minimum Front Yard:	60'	339.3'	No Change
Minimum Side Yard:	30'	21.1'	No Change
Minimum Rear Yard:	50'	156.1'	137'
Maximum Height:	35'	Less Than 35'	No Change
Maximum Impervious Surface:	10%	4.2%	4.3%

LINE	BEARING	DISTANCE
L1	N 22°09'50" E	116.04'
L2	N 01°07'40" E	185.87'
L3	S 70°52'50" E	115.30'
L4	S 76°46'40" E	241.27'
L5	N 83°37'30" E	248.29'
L8	S 88°24'20" W	255.60'
L9	N 62°04'10" W	195.31'
L10	N 88°37'20" W	147.58'

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.



NO.	DATE	REVISION	BY
PROJECT: 198 ARHOME PROPOSED ACCESSORY STRUCTURE			
198 DOG TAIL CORNERS ROAD, TOWN OF DOVER, DUTCHESS COUNTY NEW YORK			
DRAWING: OVERALL PLAN			
PROJECT NUMBER	24229.100	PROJECT MANAGER	J.M.W.
DATE	2-12-25	DRAWN BY	C.M.S.
SCALE	1" = 30'	CHECKED BY	E.J.P.
DRAWING NO.	OP-1	SHEET	1/3



SOILS LEGEND

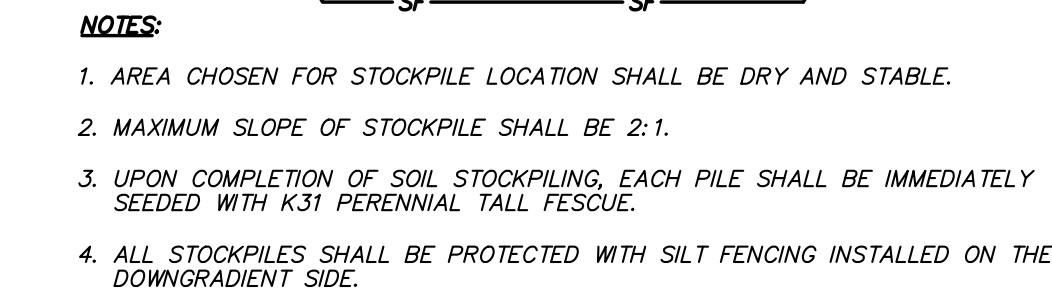
CONSTRUCTION SEQUENCE:

1. Install stabilized construction entrance/anti-tracking pad at edge of existing driveway.
2. Install silt fence in general locations indicated on the plan.
3. Strip and stockpile topsoil on site for later use in lawn and landscape areas.
4. Begin excavation for foundation and site preparation for modular cabin.
5. Begin construction of septic holding tank and utility installation.
6. Topsoil, seed, and mulch all disturbed areas as soon as practical in accordance with the Erosion and Sediment Control Notes contained on this page.

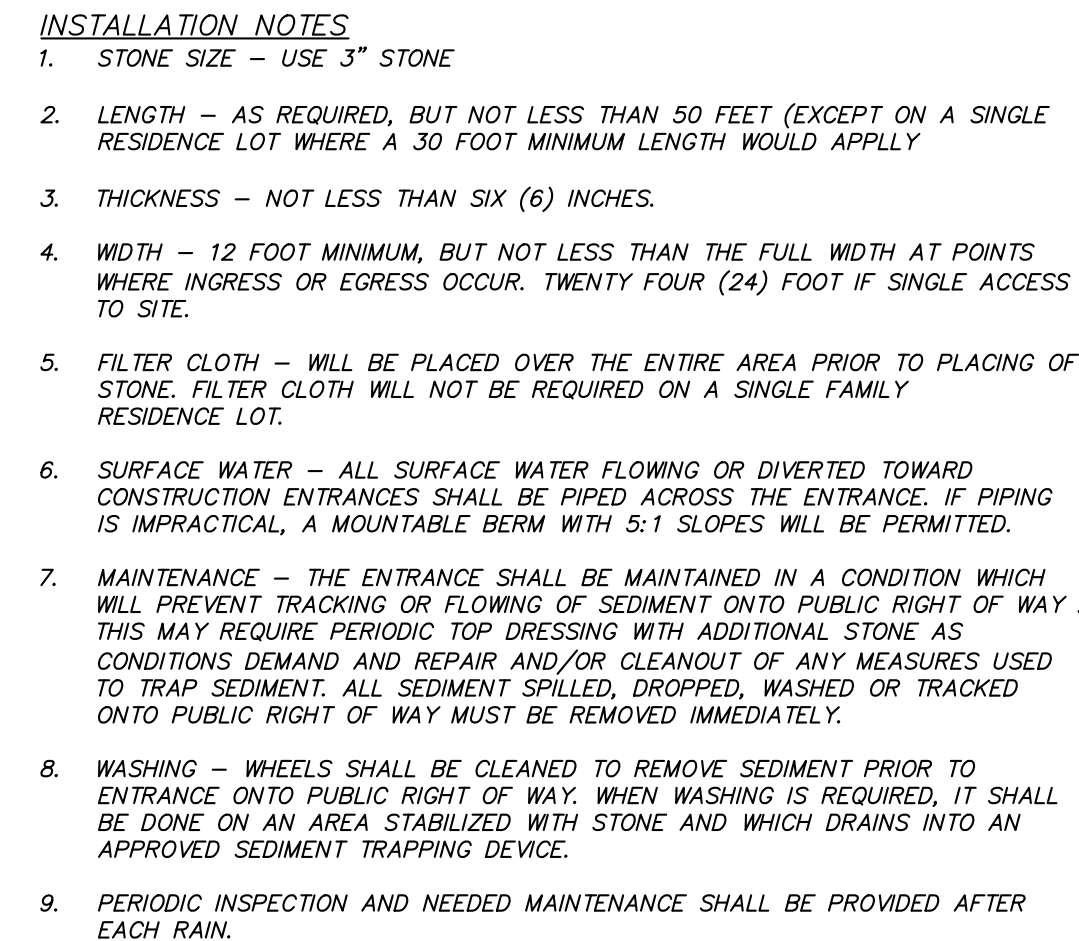
A circular red ink seal for the State of New York. The outer ring contains the text "STATE OF NEW YORK" at the top and "LICENSED PROFESSIONAL ENGINEER" at the bottom, separated by two stars. Inside the ring, the name "JOHN M. WATSON" is printed in an arc. Below the name is a small crest featuring a beaver. At the bottom of the seal, the license number "No. 77950" is printed. A handwritten signature, "John M. Watson", is written across the center of the seal.

3. The owner's field representative (O.F.R.) will be responsible for the implementation and maintenance of erosion and sediment control measures on this site prior to and during construction.
2. All construction activities involving the removal or disposition of soil are to be provided with appropriate protective measures to minimize erosion and contain sediment disposition within. Minimum soil erosion and sediment control measures shall be implemented as shown on the plans and shall be installed in accordance with "New York Standards and Specifications For Erosion and Sediment Control," latest edition.
3. Wherever feasible, natural vegetation should be retained and protected. Disturbance shall be minimized in the areas required to perform construction. No more than 5 acres of unprotected soil shall be exposed at any one time.
4. When land is exposed during development, the exposure shall be kept to the shortest practical period of time. In the areas where soil disturbance activity has temporarily or permanently ceased, the application of soil stabilization measures must be initiated by the end of the next business day and completed within fourteen (14) days from the date the current soil disturbance activity ceased. Disturbance shall be minimized to the areas required to perform construction.
5. Silt fence shall be installed as shown on the plans prior to beginning any clearing, grubbing or earthwork.
6. All topsoil to be stripped from the area being developed shall be stockpiled and immediately seeded for temporary stabilization. Ryegrass (annual or perennial) at a rate of 30 lbs. per acre shall be used for temporary seeding in spring, summer or early fall. 'Aristook' Winter Rye (cereal rye) shall be used for temporary seeding in late fall and winter.
7. Any disturbed areas not subject to further disturbance or construction traffic, permanent or temporary, shall have soil stabilization measures initiated for permanent vegetation cover in combination with a suitable mulch within 1 business day of final grading. All seeded areas to receive minimum 4" topsoil (from stockpile area) and be seeded and mulched as follows:
 - Seed mixture to be planted between March 21 and May 20, or between August 15 and October 15 or as directed by project representative at a rate of 100 pounds per acre in the following proportions:

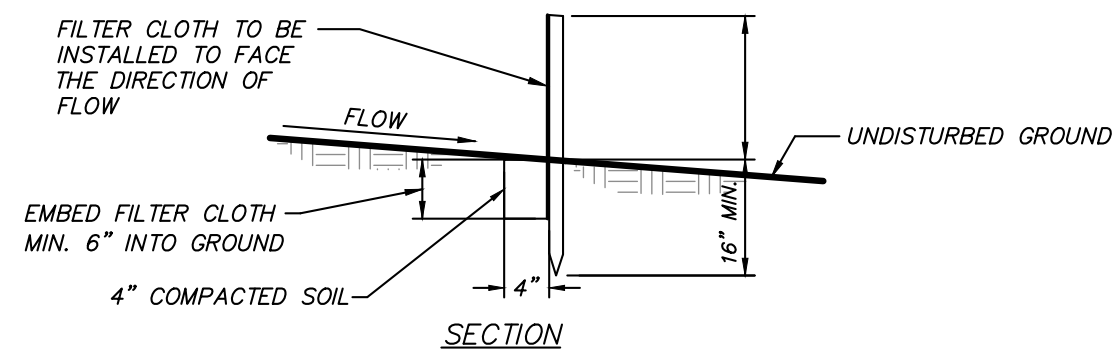
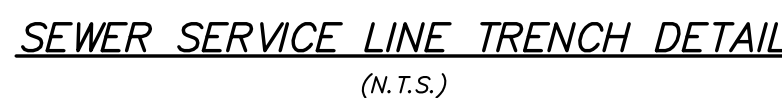
Kentucky Bluegrass	20%
Creeping Red Fescue	40%
Perennial Ryegrass	20%
Annual Ryegrass	20%
 - Mulch: Silt hay or small grain straw applied at a rate of 90 lbs./1000 S.F. or 2 tons/acre, to be applied and anchored according to "New York Standards and Specifications For Erosion and Sediment Control," latest edition.
8. Grass seed mix may be applied by either mechanical or hydroseeding methods. Seeding shall be performed in accordance with the current edition of the "NYSDOT Standard Specification, Construction and Materials, Section 610-3.02, Method No. 1". Hydroseeding shall be performed using materials and methods as approved by the site engineer.
9. Cut or fill slopes steeper than 2:1 shall be stabilized immediately after grading with Curlex I Single Net Erosion Control Blanket, or approved equal.
10. Paved roadways shall be kept clean at all times.
11. The site shall at all times be graded and maintained such that all stormwater runoff is diverted to soil erosion and sediment control facilities.
12. All storm drainage outlets shall be stabilized, as required, before the discharge points become operational.
13. Stormwater from disturbed areas must be passed through erosion control barriers before discharge beyond disturbed areas or discharged into other drainage systems.
14. Erosion and sediment control measures shall be inspected and maintained on a daily basis by the O.F.R. to insure that channels, temporary and permanent ditches and pipes are clear of debris. All storm embankments and berms have not been breached and that all straw bales and silt fences are intact. Any failure of erosion and sediment control measures shall be immediately repaired by the contractor and inspected for approval by the O.F.R. and/or site engineer.
15. Dust shall be controlled by sprinkling or other approved methods as necessary, or as directed by the O.F.R.
16. Cut and fills shall not endanger adjoining property, nor divert water onto the property of others.
17. All fills shall be placed and compacted in 6" lifts to provide stability of material and to prevent settlement.
18. The O.F.R. shall inspect downstream conditions for evidence of sedimentation on a weekly basis and after rainstorms.
19. As warranted by field conditions, special additional erosion and sediment control measures, as specified by the site engineer and/or the Town Engineer shall be installed by the contractor.
20. Erosion and sediment control measures shall remain in place until all disturbed areas are suitably stabilized.



(N.T.S.)

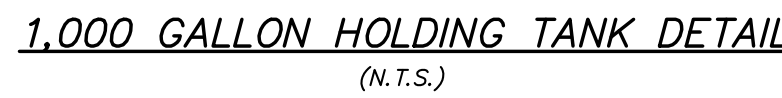
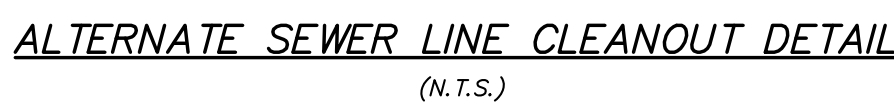


(N.T.S.)

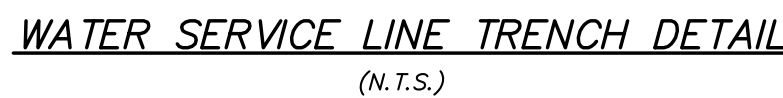


1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
3. WHEN 20 SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE JOINED BY 2" X 6" OR 3" X 6" AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

(N.T.S.)



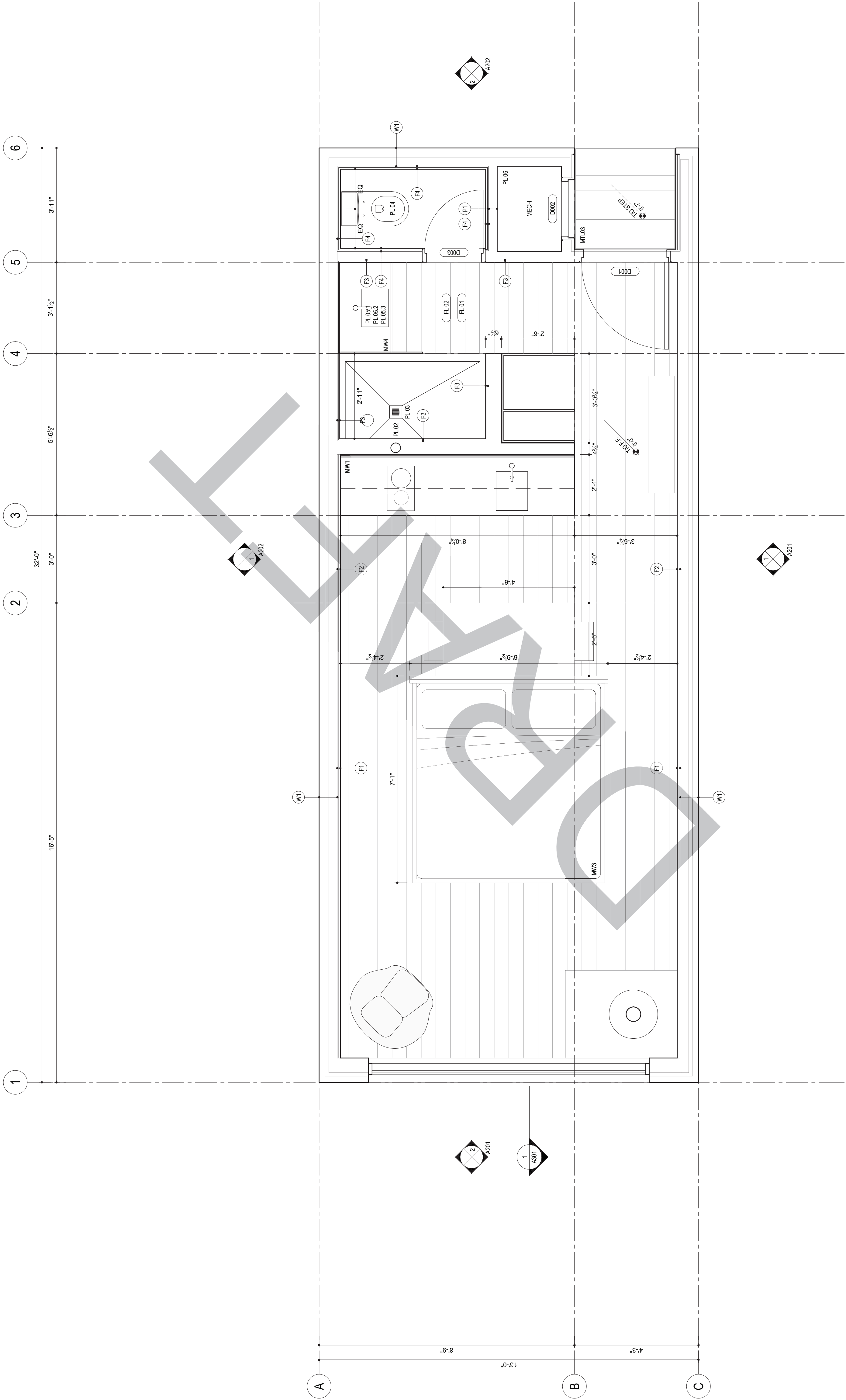
1. AUDIO/VISUAL ALARM SHALL BE LOCATED INSIDE THE PROPOSED BUILDING.
2. ALL ELECTRICAL WORK AND MATERIAL TO COMPLY WITH THE NATIONAL ELECTRICAL CODE REQUIREMENTS FOR CLASS I GROUP D, DIVISION 1 LOCATIONS.
3. AN ELECTRICAL UNDERWRITER'S CERTIFICATE FOR THE HOLDING TANK COMPONENTS MUST BE PROVIDED TO THE COUNTY DEPARTMENT OF HEALTH AS A PART OF THE CONSTRUCTION COMPLIANCE SUBMISSION PACKAGE.
4. REMOVE ALL Baffles FROM THE TANK.
5. THE FLOAT SETTING NOTED IS FOR A HOLDING TANK WITH THE SPECIFIC DIMENSIONS SHOWN HEREON. CONTACT THE DESIGN ENGINEER FOR THE PROPER FLOAT SETTING IF A TANK WITH DIFFERENT DIMENSIONS IS USED.



* Permanent vegetation is considered stabilized when 80% of the plant density is established. Erosion control measures shall remain in place until all disturbed areas are permanently stabilized.

Note. The party responsible for implementation of the maintenance schedule during and after construction is:

198 Gentle Place, LLC
PO Box 540205
Houston, TX 77354
and/or the current owner(s) of the subject property.



1	PRONG	250110
Issue		

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Project

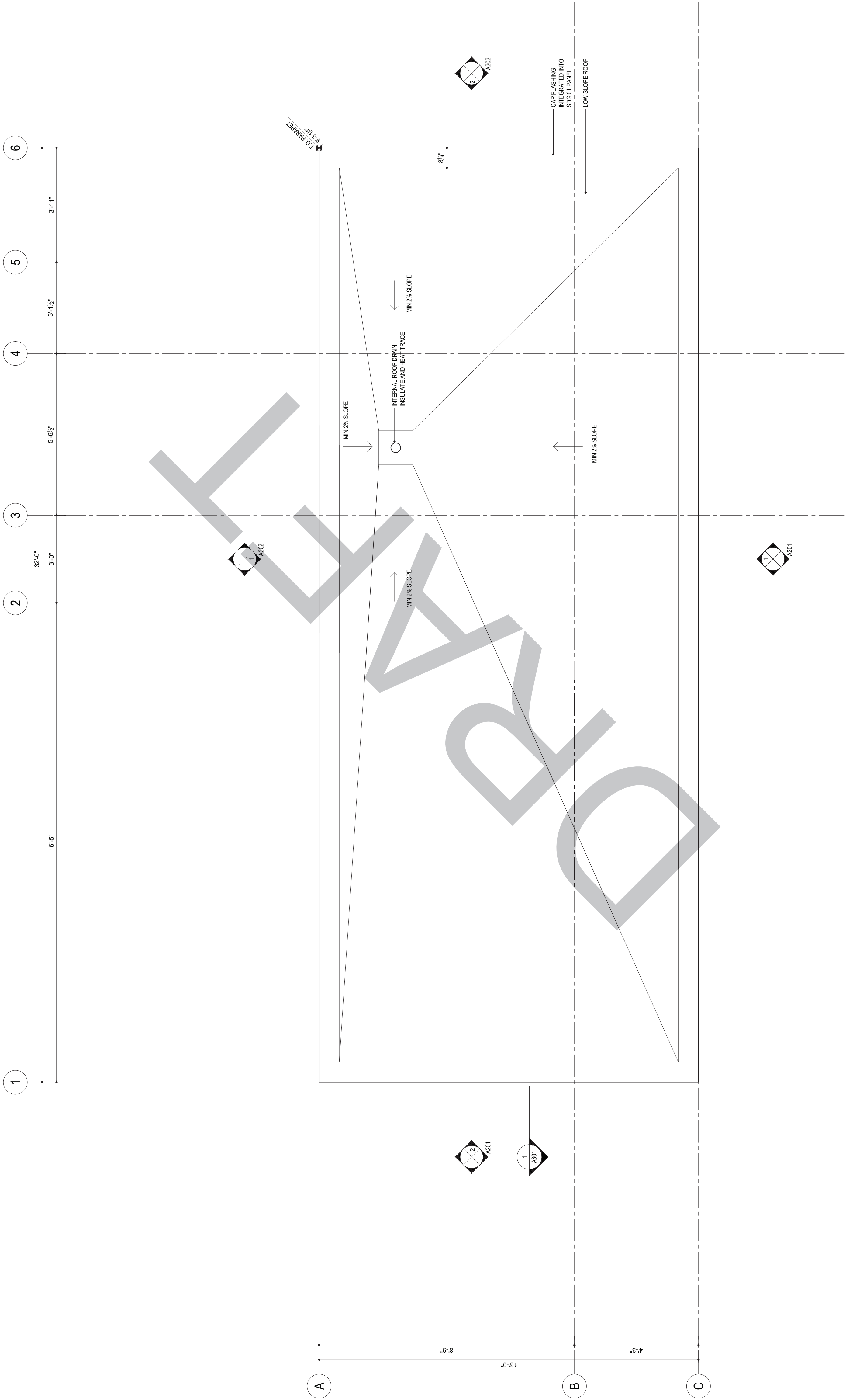
Arcana
Dog Tail Corners

Drawing Title

Floor Plan

Drawn / Checked	Project Code
LSAD	RHP
Scale	Plot Date
1/2" = 1'-0" @ 22 X 34	25018
1/4" = 1'-0" @ 11 X 17	
Sheet Number	

A102



1	PRICING	250110
Issue		

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Project

Arcana
Dog Tail Corners

Drawing Title

Roof Plan

Drawn / Checked		Project Code
LSAD		RHP
Scale		Plot Date
1/2" = 1'-0" @ 22 X 34		25018
1/4" = 1'-0" @ 11 X 17		
Sheet Number		

A103



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Project

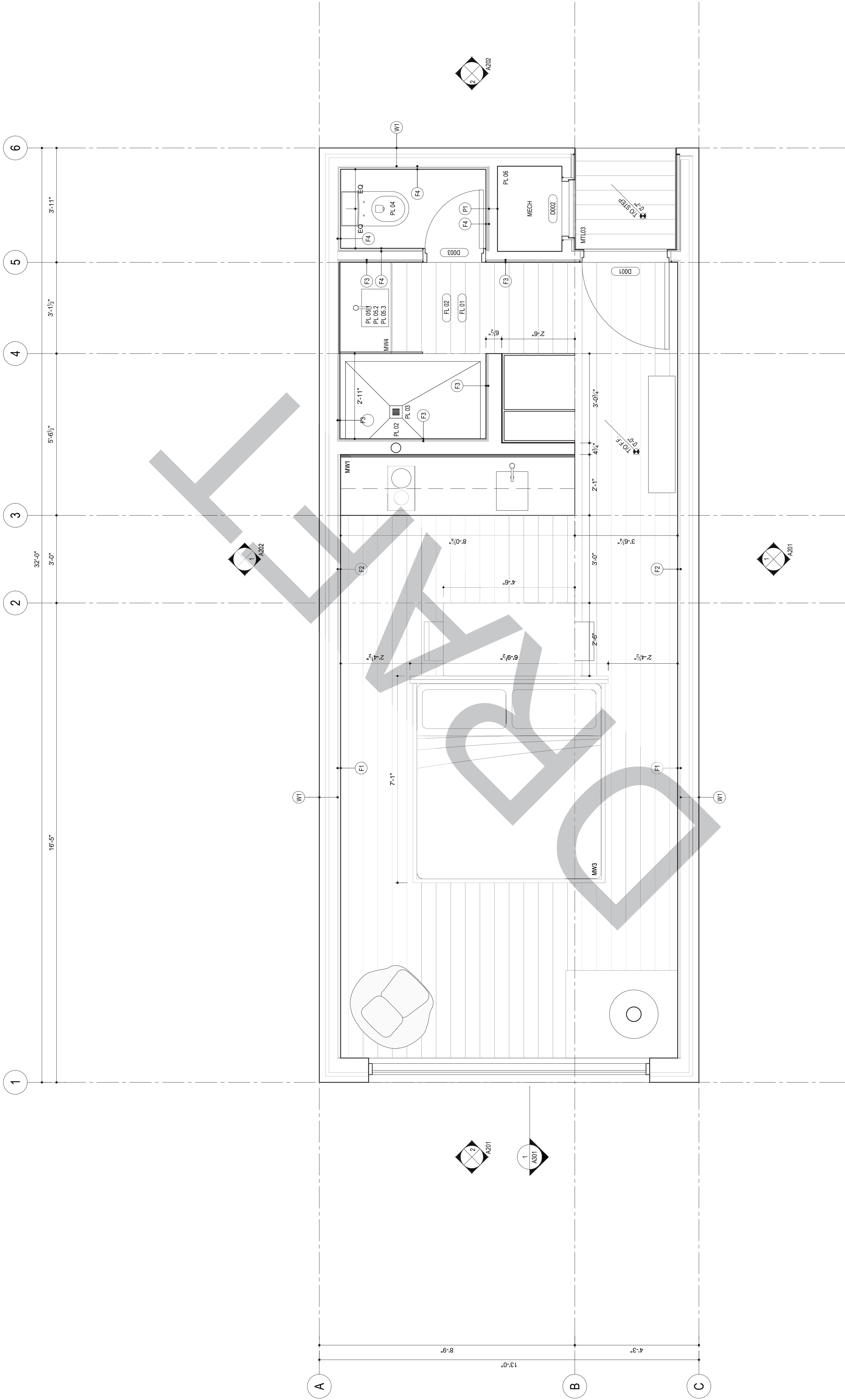
Arcana Dog Tail Corners

Drawing Title

Section

Project Code	Drawn / Checked	RHP	Plot Date
	LSAD		25018
	Scale		
		1/2" = 1'-0" @ 22 X 34	
		1/4" = 1'-0" @ 11 X 17	
	Sheet Number		

A301



1	PRONG	250110
Issue		

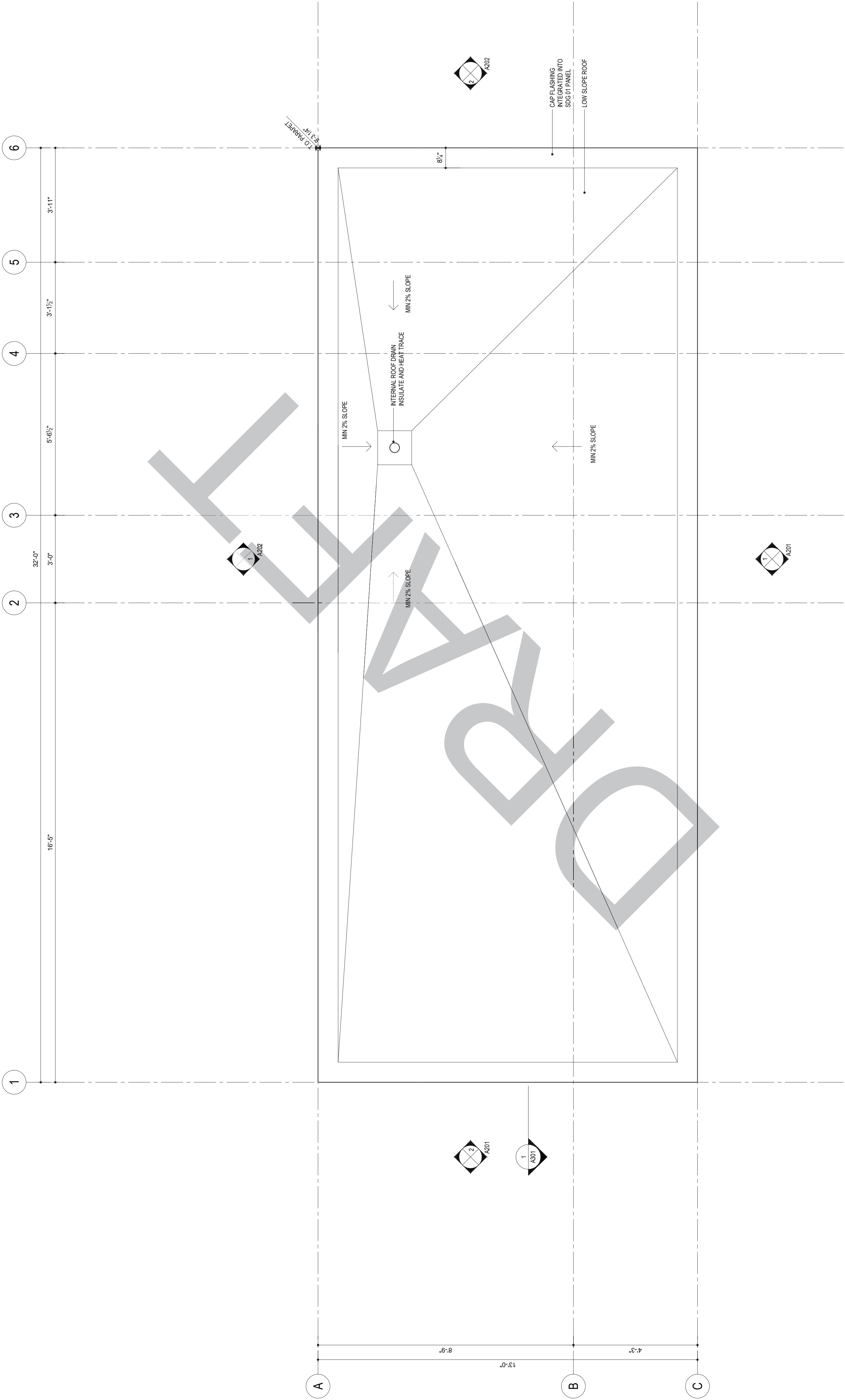
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Project
Arcana
Dog Tail Corners

Drawing Title
Floor Plan

Drawn / Checked	Project Code
LSAD	RHP
Scale	Plot Date
1/2" = 1'-0" @ 22 X 34	25018
1/4" = 1'-0" @ 11 X 17	
Sheet Number	

A102



1	PRICING	250110
Issue		

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Project

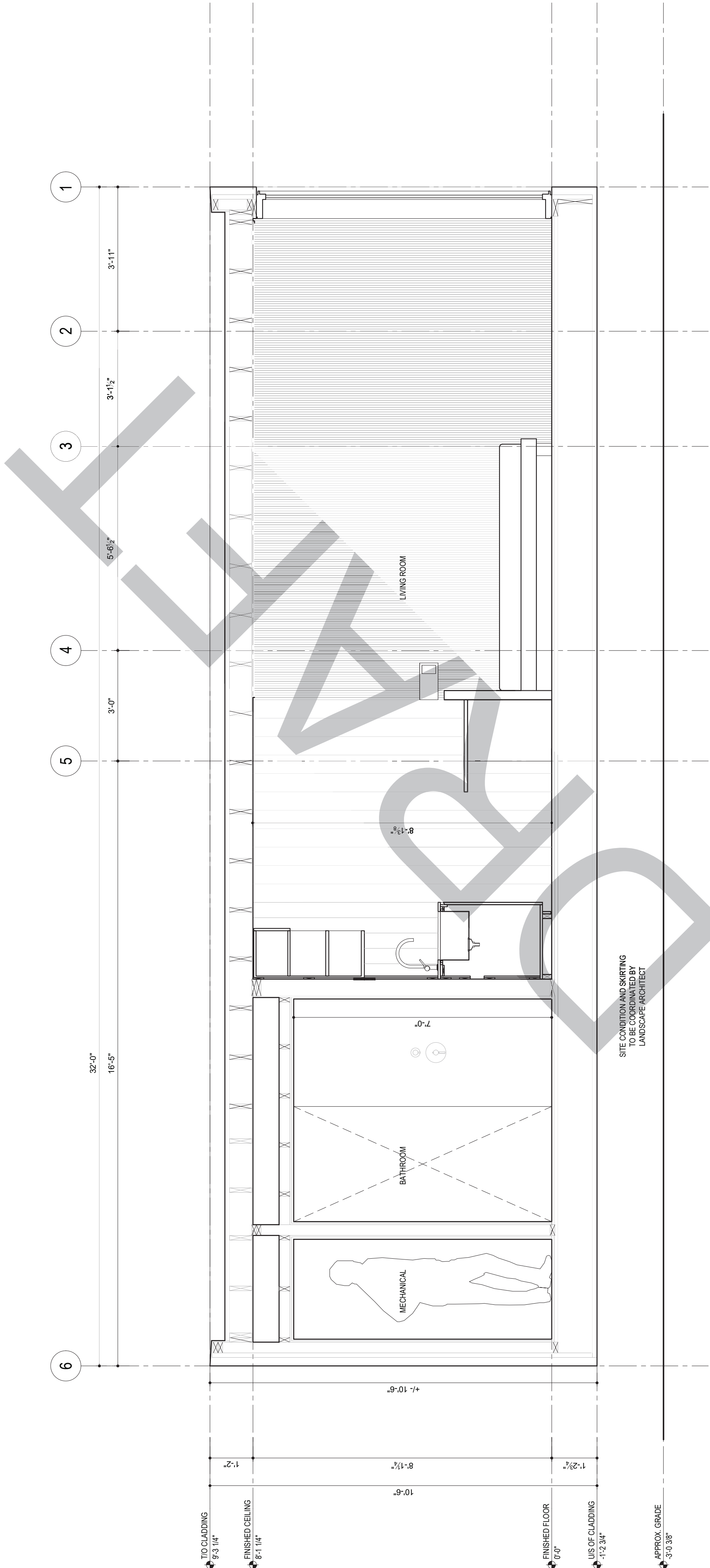
Arcana Dog Tail Corners

Drawing Title

Roof Plan

Drawn / Checked		Project Code
LSAD		RHP
Scale		Plot Date
1/2" = 1'-0" @ 22 X 34		25018
1/4" = 1'-0" @ 11 X 17		
Sheet Number		

A103



1	PRONG	250110
Issue		

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Project

Arcana Dog Tail Corners

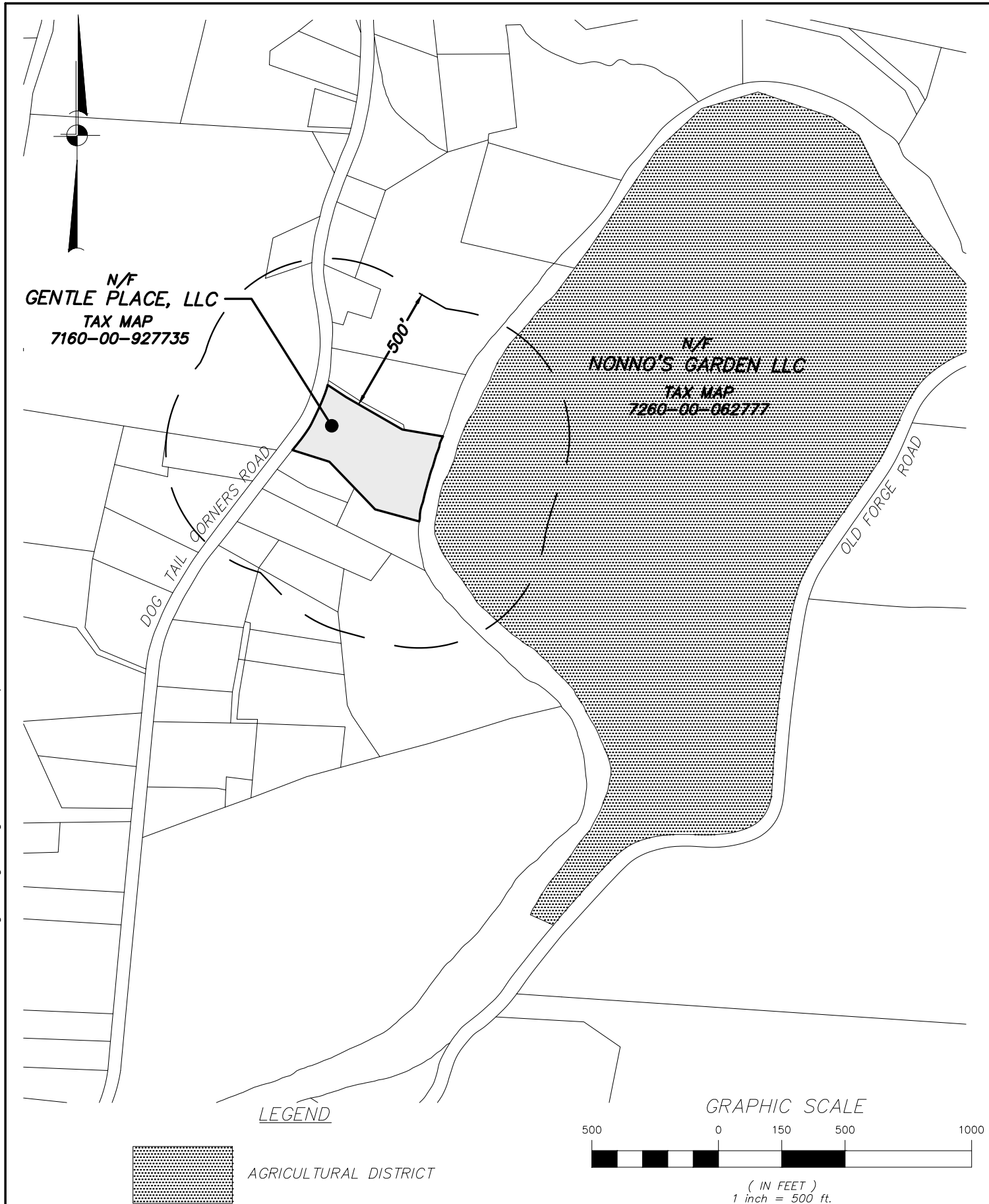
Drawing Title

Section

Drawn / Checked	Project Code
LSAD	RHP
Scale	Plot Date
1/2" = 1'-0" @ 22 X 34	25018
1/4" = 1'-0" @ 11 X 17	
Sheet Number	

A301

Z:\E\24229100 Gentle Place, LLC, 198 AR Home Pre-fab, Dover\Misc Drawing Files\Figure 1.dwg, 2/11/2025 9:44:44 AM, ependleton, 1:1



PROJECT: 198 AR Home
198 DOG TAIL CORNERS ROAD, DOVER, DUTCHESS COUNTY, NEW YORK
DRAWING: TAX MAP WITH 500' BUFFER

PREPARED BY: **INSITE**
ENGINEERING, SURVEYING &
LANDSCAPE ARCHITECTURE, P.C.
3 Garrett Place • Carmel, New York 10512
Phone (845) 225-9690 • Fax (845) 225-9717
www.insite-eng.com

DATE: 2-12-25
SCALE: 1"=500'
PROJECT NO.: 24229.100
FIGURE: Page 56 of 69

RECEIVED

By Marilyn Van Millon at 9:30 am, Mar 03, 2025

Memorandum

To: Town of Dover Planning Board
From: AKRF, Inc.
Date: February 28, 2025
Re: 198 Dog Tail Corners Road – Special Permit for Accessory Dwelling
John Watson, P.E. (Applicant's Engineer)
cc: Kaitlyn Karcheski (Applicant's Representative)
Victoria Polidoro, Esq. (Planning Board Attorney)
Joseph Berger, P.E. (Planning Board Engineer)

AKRF, Inc. has reviewed the following documents and plans for the above referenced application:

- Cover Letter prepared by Insite Engineering dated February 12, 2025
- Land Use Application dated January 28, 2025
- Applicant's Letter of Intent dated February 12, 2025
- Letter of Agent dated January 28, 2025
- Agricultural Data Statement dated January 28, 2025
- Agricultural Data Statement Map with 500' Buffer dated February 12, 2025
- Site Plan Drawing Set (3 sheets) prepared by Insite Engineering dated February 12, 2025
- Architectural Cabin Plans (3 sheets) prepared by Leckie Studio Architecture and Design dated January 10, 2025
- Short Environmental Assessment Form dated February 12, 2025

DESCRIPTION

The Applicant and subject property owner, Gentle Place LLC, is applying for special permit and erosion and sediment control permit approval from the Planning Board for the placement of an approximately 416-square-foot, 1-bedroom prefabricated cabin structure that will be accessory to the principal 4-bedroom residence at 198 Dog Tail Corners Road (132600-7160-00-927735). The subject property is approximately 4.3 acres in size and is zoned RU and within the Stream Corridor, Floodplain, and Principal Aquifer overlays. The cabin is proposed south of the existing primary residence and garage. Utility connections to existing water and electrical infrastructure are also proposed, along with a new 1,000-gallon septic holding tank not connected to a disposal system.

COMMENTS

CODE COMPLIANCE

1. An accessory apartment is defined in the Town Code as follows:

"A dwelling unit occupying the lesser of 1,000 square feet or 30 percent of the floor space of an owner occupied structure containing a principal use that is single-family residential or nonresidential, or a dwelling unit no larger than 1,000 sf located in an accessory structure on an owner occupied property."

The proposed cabin is an accessory structure on an owner-occupied property, with a floor area less than 1,000 sf (approximately 416 sf).

While the accessory cabin appears to meet the floor area thresholds from the accessory apartment definition, Section 145-11(C) of the Zoning Code states that *"the minimum floor area of a dwelling unit shall be 800 sf, and the minimum for an accessory apartment shall be 500 sf."*

The cabin does not fully meet the Town's definition of a "dwelling unit," since a full kitchen is not proposed (a kitchenette is shown). Therefore, it is unclear if the cabin can be treated as an accessory apartment under the Code. The proposed use of the cabin appears to be more of a lodging / extra bedroom use for guests of the property owner. From Town Code §145-74 a dwelling unit is defined as *"a building or portion thereof providing complete housekeeping facilities for one family."*

If the application proceeds as an accessory apartment and the Applicant later decides to rent out the cabin to a tenant, they would have gone through the proper review process with the Planning Board. However, the Applicant may be required by the Town Building Department at a later date to bring the unit up to code as a "dwelling unit" (install a stove, etc.).

In consideration of the above, the board can seek input from the Code Enforcement Officer on the applicability of a special permit for this application. If the CEO interprets the cabin as an accessory apartment under the Code, granting of an area variance through the ZBA appears necessary due to the floor area being below the minimum 500 sf.

The remaining comments in this memorandum assume the cabin can be treated as an accessory apartment subject to a special permit approval from the Planning Board.

2. Pursuant to Zoning Code §145-12C, one accessory apartment per single-family dwelling may be located in an accessory structure, and the lot containing the accessory apartment must contain the minimum acreage required by the Dimensional Table (§145-11B) (2 acres for the RU district). The subject property is approximately 4.3-acres, which is above the minimum 2 acres.
3. As shown in the Bulk Regulations table on the Site Plan drawing, the primary residence and the proposed accessory cabin appear to meet all yard setback requirements for the RU district.
4. Since the subject property is within the Stream Corridor Overlay, a note should be added to the Site Plan that indicates any future development is subject to provisions/restrictions found at Section 145-14 of the Town of Dover Zoning Code. Additional comments related to the overlay are found below.
5. Since the subject property is within the Town's Aquifer Overlay District, specifically the Principal Aquifer Zone (PAZ). A note should be added to the Site Plan that indicates any future development is subject to provisions/restrictions found at Section 145-15 of the Town of Dover Zoning Code.
6. The approximate boundary of the 100-year floodplain is shown on the Site Plan and the proposed cabin is located outside of the floodplain. A floodplain development permit should not be required.
7. The subject property requires 4 total parking spaces pursuant to §145-38A(2) of the Zoning Code. The existing and proposed condition depicted in the Site Plan set shows adequate space exists for these parking spaces.
8. The Applicant has applied for the erosion and sediment control permit in connection with the special permit request. AKRF defers to the Town Engineer for review of the Erosion and Sediment Control permit requirements of Town Code Chapter 65. The cabin's location within the Stream Corridor Overlay requires ESC permit approval if the total disturbance exceeds 10,000 square feet.

WETLANDS / WATERCOURSES

9. The Tenmile River abuts the subject property to the east and the southern extent of the property contains an unnamed stream that flows into the river, making the property subject to the Stream Corridor Overlay District requirements (Code Section 145-14). The Stream Corridor overlay extends 150 feet from the boundary of the river and the stream. These boundaries appear to be depicted correctly on the Site Plan drawing. Within the 150-foot boundary of the overlay, the Zoning Code requires a 100-foot setback for structures, which is also depicted on the plans. The proposed cabin and associated limits of disturbance are located beyond the 100-foot structural setback and therefore appear to be in compliance with the overlay.

However, because the cabin itself is within the 150-foot boundary of the overlay, it requires an erosion and sediment control permit if the area of disturbance exceeds 10,000 square feet (145-14F). The Applicant has applied for the erosion and sediment control permit in connection with the special permit request.

10. Wetlands: Based on aerial photography and the NYSDEC Environmental Resource Mapper, the western extent of the subject property appears to contain freshwater wetlands. There is also an unnamed stream along the southern boundary of the lot that feeds into the Tenmile River. The wetland area (and stream) has not been formally delineated by the Applicant. Rather, the Applicant has approximated the extent of the wetland area based on the available 2-foot contour topographic data from Dutchess County Parcel Access GIS, which shows that there is an approximate 10-foot grade change between the approximate area of the wetland and the remainder of the property's lawn area.

Recent changes to NYSDEC's wetland regulations require a Parcel Jurisdictional Determination (Parcel JD) be submitted through NYSDEC's online request form, available here: <https://survey123.arcgis.com/share/be5c071ff72d4876986b18488721e55f>. A Parcel JD is an assessment made by NYSDEC as to whether a property includes regulated freshwater wetlands or regulated adjacent areas within the area boundaries. The Parcel JD does not state the extent of the wetlands on the property, only if there are jurisdictional wetlands present. To obtain information on the extent of a wetland, a wetland delineation needs to be done to confirm wetland boundaries.

Within 90 days, DEC will provide a JD letter indicating the status of jurisdictional wetlands (i.e., positive or negative) within the requested area. A negative parcel jurisdictional determination means there are no protected wetlands within the area indicated in the request and no wetland permit will be needed for any activities within the defined parcels.

A positive parcel jurisdictional determination means there are protected wetlands within the area indicated in the request, and coordination with regional DEC staff is necessary to determine if a wetland permit may be needed.

There is also a "Consultant Option" for Parcel JD requests where the project has hired a consultant, information on this option is available here: <https://dec.ny.gov/sites/default/files/2025-02/parceljdconsultant.pdf>. Under this option, which requires a delineation by a professional consultant, NYSDEC's Bureau of Ecosystem Health will review and schedule a boundary validation.

AKRF recommends the Applicant review the new regulations and submit the Parcel JD request under either option. As the response time from NYSDEC can vary, the Planning Board may wish to observe the wetland conditions on the property through a site visit in the interim.

PROCEDURAL

11. Pursuant to Zoning Code Section 145-10, "accessory apartments" are permitted as special permit uses in the RU district. The submitted application meets the code's definition of a minor project, and a public hearing will be required.
12. Pursuant to Section 37-5 of the Town Code, architectural review of the proposed cabin by the Planning Board (acting as the Architectural Review Board) appears to be required due to the use being subject to a special permit. Architectural plans have been provided by the Applicant.

13. Since the subject property falls within 500 feet of Dog Tail Corners Road (a County Road) and within 500 feet of a farm operation within an agricultural district, the application is subject to referral to the Dutchess County Department of Planning pursuant to General Municipal Law 239-m. The County is required to respond within 30-days of receipt of the referral.
14. Dutchess County Department of Behavioral and Community Health approval will be required for the proposed septic system upgrades on the property. According to the plans, the Applicant proposes to install a new 1,000 gallon septic holding tank that will not be connected to the existing disposal system. It is assumed the holding tank will require periodic pumping by a private disposal company. AKRF defers to the Town Engineer for any comments on the proposed design, including County Health Department procedures/policy related to the use of a holding tank with no disposal system.
15. The subject property appears to share a driveway with the property to the north (202 Dog Tail Corners Road). If documentation related to the shared driveway condition is available, it should be shared with the Planning Board Attorney.

SEQRA

16. Since this application would technically result in a "two-family residence" on an approved lot, the application can be considered a Type II Action under the State Environmental Quality Review Act (SEQRA), which requires no environmental review. The applicable Type II citation is as follows:

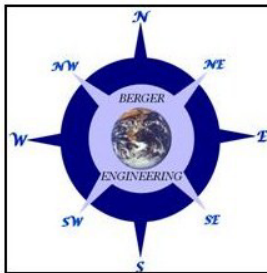
"6 CRR-NY 617.5(c)(11) - Construction or expansion of a single-family, a two-family or a three-family residence on an approved lot including provision of necessary utility connections as provided in paragraph (13) of this subdivision and the installation, maintenance or upgrade of a drinking water well or a septic system or both, and conveyances of land in connection therewith."

RECOMMENDATIONS

At the March 3, 2025 meeting, AKRF recommends that the Planning Board discuss the application and consultant comments (including recommended interpretation by the Code Enforcement Officer and the wetland JD), consider classifying the application as a Type II action under SEQRA, consider setting a site walk, and request an increase to the escrow by \$3,500 to \$5,000.

RECEIVED

By Marilyn Van Millon at 9:22 am, Mar 03, 2025



BERGER ENGINEERING AND SURVEYING

100 Fulton Avenue
Poughkeepsie, New York 12603
Engineering Services: (845) 471-7383
GIS Services: (845) 392-7180
www.BergerEngr.com

02/21/25

Chairperson Courtien

And members of the Town of Dover Planning Board

126 East Duncan Hill Road

Dover Plains, New York 12522

Re: 198 AR HOME 7160-00-927735

Dear Chairperson Courtien, and Members of the Planning Board:

Project proposes to add a one bedroom accessory structure to a site which currently has a single family house. Site is 4.3 acres in size and proposes to disturb 5400 sf or 0.12 acre of area.

Site is serviced by individual well and onsite sewage disposal system. The site has a federal wetland in the front and a 100 year flood plain in the rear of the site.

Plan Review

Plans dated 02-12-25

1. Plans show a proposed septic tank and the narrative states a new onsite subsurface sewage treatment system is being proposed. Is it the plan to connect to the existing SDS or is a new SDS proposed. If a new SDS is proposed the design needs to be shown. If the existing SDS is being used does it have capacity for the additional structure being proposed?
2. If a new SDS is proposed the area of disturbance will be increased and additional erosion control may be needed.

Joseph Berger

Joseph P Berger P.E., L.S.

Town Planning Board Engineer

Town of Dover

DUTCHESS COUNTY CLERK RECORDING PAGE

RECORD & RETURN TO:

COMMONWEALTH LAND TITLE INSURANCE CO
50 MAIN STREET
WHITE PLAINS NY 10601

RECORDED: 01/12/91

AT: 15:35:21

COUNTY CLERK: #268

RECEIVED FROM: COMMONWEALTH LAND TITLE

GRANTOR: HAUSER JOHN T
GRANTEE: STEWBRIDGE DAVID A

RECORDED IN: 152
INSTRUMENT TYPE:

TAX
DISTRICT: DOVER

EXAMINED AND RECORDED AS FOLLOWS:

RECORDING CHARGE: 57.00

NUMBER OF PAGES: 5

TRANSFER TAX AMOUNT: 370.00

TRANSFER TAX NUMBER: 4003769

E & A FORM: Y

TP-584: Y

COUNTY CLERK BY: SRB

RECEIPT NO: R01501

BATCH RECORD: D00011

WILLIAM L. PAROLI, JR.
County Clerk



CONSULT YOUR LAWYER BEFORE SIGNING THIS INSTRUMENT—THIS INSTRUMENT SHOULD BE SIGNED BY LAWYERS ONLY.

THIS INDENTURE, made the 29th day of December, nineteen hundred and ninety-seven
 BETWEEN JOHN T. HAUSER and LEE S. HAUSER, (no number) Dogtail
 Corners Road, Wingdale, New York 12594

party of the first part, and DAVID A. FRAMBRIDGE, One Lincoln Plaza, Apt. 32B,
 New York, New York 10023

party of the second part,

WITNESSETH that the party of the first part, in consideration of ten dollars and other valuable consideration paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

All that certain lot or lots of land with the buildings and improvements thereon, more or less, situate, being and described as follows:

See Schedule A attached hereto and made a part hereof

TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center line thereof, TOGETHER with the appurtenances and all the estate and rights in the party of the first part in and to said premises; TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid.

AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose.

The word "party" shall be construed as if it read "parties" wherever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

IN PRESENCE OF:

John T. Hauser
 JOHN T. HAUSER

Lee S. Hauser
 LEE S. HAUSER

STATE OF NEW YORK, COUNTY OF New York

On the 27 day of December 19 97, before me personally came JOHN T. HAUSER and LEE S. HAUSER

to me known to be the individual described in and who executed the foregoing instrument, and acknowledged that they executed the same.

Henry Zeleznitz
Notary Public

HENRY ZELENITZ
Notary Public, State of New York
No. 24-0799530
Residing in Nassau County
Commission Expires October 31, 1999

STATE OF NEW YORK, COUNTY OF New York

On the 27 day of December 19 97, before me personally came

to me known, who, being to me duly sworn, did depose and say that he resides at No. _____

that he is the _____ of _____

the corporation described in and which executed the foregoing instrument; that he knows the seal of said corporation; that the seal affixed to said instrument is such corporate seal; that he was so affixed as a member of the board of directors of said corporation; and that he signed his name thereto by like order.

STATE OF NEW YORK, COUNTY OF New York

On the 27 day of December 19 97, before me personally came

to me known to be the individual described in and who executed the foregoing instrument, and acknowledged that they executed the same.

STATE OF NEW YORK, COUNTY OF New York

On the 27 day of December 19 97, before me personally came

the subscribing witness to the foregoing instrument, with whom I am personally acquainted, who, being to me duly sworn, did depose and say that he resides at No. _____

that he knows _____

to be the individual described in and who executed the foregoing instrument; that he, said subscribing witness, was present and saw execute the same; and that he, said witness, at the same time subscribed his name as witness thereto.

RECORDED BY
COMMONWEALTH TITLE INSURANCE CO.
50 Main Street
White Plains, New York 10606

Buyer and Seller Wred

With Covenant Against Grantors' Acts

Title No. _____

JOHN T. HAUSER and
LEE S. HAUSER

DAVID A. STRAUBRIDGE

SECTION 62 1160-00-938765
BLOCK _____
LOT _____
CITY OR TOWN Dover, Dutchess Co.

RETURN BY MAIL TO:

COMMONWEALTH LAND TITLE
INSURANCE COMPANY
50 MAIN STREET
WHITE PLAINS, NEW YORK 10606

STANDARD FORM OF NEW YORK BOARD OF TITLE UNDER TITLES
Distributed by
SECURITY TITLE AND GUARANTY COMPANY

CHARTERED 1920 AND  IN NEW YORK

SCHEDULE A

ALL that certain piece, place or parcel of land, with the buildings and improvements thereon, situated, lying and being in Webatuck, in the Town of Dover, County of Dutchess and State of New York, bounded and described as follows:

BEGINNING at a point on the east side of Dog Tail Corners Road at the southwest corner of the parcel herein conveyed which point is the northwest corner of land now or formerly of Robert H. Smith and Lillian M. Smith, his wife, acquired by them by a deed recorded in Dutchess County Clerk's Office on May 1, 1950, in Liber 742 of deeds at page 183, and;

THENCE along land now or formerly of Smith, South 70 degrees 57 minutes 50 seconds East 115.30 feet and South 76 degrees 46 minutes 40 seconds East a distance of 241.27 feet to land formerly of Raymond Smith conveyed to Hauser;

THENCE RUNNING North 83 degrees 11 minutes 30 seconds East along an old fence and through a stake a distance of 248.29 feet to the west bank of Ten Mile River;

THENCE North along the west bank of Ten Mile River a distance of 131.14 feet to a point opposite a stake driven into the ground on the West bank of the Ten Mile River;

THENCE North 89 degrees 31 minutes 00 seconds West along other lands of Hauser, formerly lands of Fahnestock, 583.64 feet to an iron stake driven into the ground on the east side of Dog Tail Corners Road;

THENCE South 02 degrees 11 minutes 35 seconds West along the East side of Dog Tail Corners Road 136.83 feet to the point or place of beginning.

SUBJECT to a right-of-way for the purpose of ingress and egress, to other lands of Hauser described as follows:

BEGINNING at the southwesterly corner of the herein described 2.7 acres, more or less, said point also marking the northwesterly corner of lands of David A. Strawbridge described in Liber 1699 of Deeds at page 119; thence along the easterly side of Dog Tail Corners Road, N 02 degrees 09' 55" E 5.40 feet to a point; thence through the herein referenced 2.7 acres, more or less, S 77 deg. 12' E 268.60 feet, N 57 deg. 55' E 64.60 feet, N 20 deg. 44' E 21.60 feet and N 02 deg. E 131.56 feet to the northwesterly corner of the herein described right-of-way; thence along lands of John T. Hauser and Lee S. Hauser described in Liber 1663 of Deeds at Page 89, S 89 deg. 31' 00" E 15.50 feet to a point; thence through the herein referenced 2.7 acres, more or less, S 02 deg. W 164.94 feet and S 57 deg 57' W 84.19 feet to a point at the northerly line of lands of Strawbridge thence along the same, N 76 deg. 46' 40" W 164.48 feet and N 50 deg. 52' 50" W 115.30 feet to the point or

place of beginning.

TOGETHER with all riparian rights of the grantor to the waters and land in the bed of the Ten Mile River adjoining the premises herein conveyed to the center line of said river.

TOGETHER with all the rights of the seller to the land lying in the road in front of and adjoining said premises to the center-line thereof.

SUBJECT to utility easements of record.

THE GRANTORS abandon any rights they may have in connection with the easements described in Liber 742, Page 187 and Liber 1058, Page 202. It being intended that the right-of-way described above for the purpose of ingress and egress to other lands of Hauser be substituted in the place of the easements described in Liber 742, Page 187 and Liber 1058, Page 202.

THE GRANTORS hereby abandon any rights they may have in connection with the easement described in Liber 1281, Page 673 in favor of John T. Hauser, his distributees and assigns to maintain a water pipe from a well on the above described premises to the house of John T. Hauser lying to the North of the above described premises, and to maintain a water pipe running from said well to the house lying to the South of the above described premises and the right of said John T. Hauser to draw water from said well to be used in each of the said two houses.

BEING and intended to be all of the certain tract or parcel of land described in a conveyance from Raymond D. Smith and Grace Smith to John T. Hauser and Lee S. Hauser by Deed dated June 1, 1966 and recorded at the Dutchess County Clerk's Office in Liber 1206 of Deeds at page 107 and all of that certain tract or parcel of land described in a conveyance from Ann Carrington to John Hauser and Lee Hauser by Deed dated February 10, 1970 and recorded at the Dutchess County Clerk's Office in Liber 1281 of Deeds at page 673.

Peter Rusciano
246 Cricket Hill Rd.
Dover Plains, NY 12522
Cell 914 760 6277
Email Rusciano@aol.com

RECEIVED

By Marilyn Van Millon at 2:08 pm, May 12, 2025

May 2, 2025

Marilyn VanMillon
Secretary, Planning & Zoning Board of Appeals
126 East Duncan Hill Road
Dover Plains, New York 12522

Via Email: LandUse@townofdoverny.us

RE: 236 and 246 Cricket Hill Road
June 17, 2024 Resolution granting 1 year extension

Dear Ms. VanMillon:


We are not ready to commence work on the above referenced project, and respectfully request an extension to the following resolution:

June 17, 2024 Resolution granting 12 month extension of erosion and sediment control permit approval to August 2, 2025 for 236 and 246 Cricket Hill Road

Feel free to contact me should you have any questions.

I would like to thank you in advance for your help and cooperation.

Sincerely,


Peter Rusciano
Civil Engineer

RECEIVED

By Marilyn Van Millon at 2:09 pm, May 12, 2025

Peter Rusciano
246 Cricket Hill Rd.
Dover Plains, NY 12522
Cell 914 760 6277
Email Rusciano@aol.com

May 2, 2025

Marilyn VanMillon
Secretary, Planning & Zoning Board of Appeals
126 East Duncan Hill Road
Dover Plains, New York 12522

Via Email: LandUse@townofdovernny.us

Re: Dover estates 5 lot subdivision on route 22 owner (Josephine Rusciano)
Located at NYS Rt 22 and Rural Ave Wingdale NY
Tax Map # 7060-00777592-0000
7060-00-783563-0000
7060-00785544-0000
7060-00787526-0000
7060-00790504-0000
Originally Dover Estates 6 lot subdivision 7060-00-788552 & 7060-16-779491

Dear Ms. VanMillon:

We are not ready to commence work on the above referenced project, and respectfully request an extension to the following resolution:

June 17, 2024 Resolution granting 1 year extension of erosion and sediment control permit approval to August 1, 2025 for Dover Estates.

Feel free to contact me should you have any questions.

I would like to thank you in advance for your help and cooperation.

Sincerely,



Peter Rusciano
Civil Engineer

Town of Dover Planning Board

Town of Dover
126 East Duncan Hill Road
Dover Plains, NY 12522



(845) 832-6111 ext 100

The following is the list of the Town of Dover Planning Board submission deadlines and meetings dates. This schedule was created by use of the guidelines the Planning Board has in place. This schedule can be changed only at a formal Planning Board meeting by way of a motion being made and a vote of the membership on record.

The **Planning Board meetings are scheduled for the 1st and 3rd Monday** of each Month at 7:00pm at the Town Hall and the deadline for any and all the applicant's submissions is before **Noon on the Deadline Dates listed below.** To make these deadlines, submissions must be received or be emailed to the LandUse@DoverNY.us.

APPLICANTS AND CONSULTANTS

If your application is reviewed at the 1st meeting of the month –
there should be no expectation that you will be on the 2nd meeting of the month agenda

<u>1st MEETING DATE</u>	<u>DEADLINE DATE</u>	<u>2nd MEETING DATE</u>	<u>DEADLINE DATE</u>
January 06, 2025	December 18, 2024	January 20, 2025 (No Meeting – Martin Luther King Day)	
February 03, 2025	January 15, 2025	February 17, 2025 (No Meeting - President's Day)	
March 03, 2025	February 12, 2025	March 17, 2025	February 26, 2025
April 07, 2025	March 19, 2025	April 21, 2025	April 2, 2025
May 05, 2025	April 16, 2025	May 19, 2025	April 30, 2025
June 02, 2025	May 14, 2025	June 16, 2025	May 28, 2025
July 07, 2025	June 18, 2025	July 21, 2025	July 2, 2025
August 04, 2025	July 16, 2025	August 18, 2025	July 30, 2025
September 01, 2025 (No Meeting - Labor Day)		September 15, 2025	August 27, 2025
October 06, 2025	September 17, 2025	October 20, 2025	October 1, 2025
November 03, 2025 (Set up for Election Day – No Meeting)		November 17, 2025	October 29, 2025
December 01, 2025	November 12, 2025	December 15, 2025	November 26, 2025

* All meeting dates are subject to change. Please call the Town of Dover Planning Board Office (845) 832-6111 ext 100 to confirm monthly dates or go to www.DoverNY.us.

Respectfully submitted,

Marilyn Van Millon

Marilyn Van Millon, Planning Board Secretary

Motion to Approve made by

Second by:

All in favor